



**CIVIL**

SHEET #	DRAWING TITLE
C-100	SITE GRADING PLAN
C-101	SITE SERVICING PLAN
C-102	CONSTRUCTION NOTES AND DETAILS
C-103	SANITARY AND STORM PROFILES
C-104	EROSION & SEDIMENTATION CONTROL PLAN
C-105	STORMWATER MANAGEMENT PLAN

**LANDSCAPE**

SHEET #	DRAWING TITLE
L2-100	SITWORK - REMOVALS PLAN
L2-101	SITWORK - LEVEL 1 GRADING PLAN
L2-102	SITWORK - LEVEL 1 LAYOUT PLAN
L2-103	SITWORK - LEVEL 1 PLANTING PLAN
L2-105	SITWORK - LEVEL 2 & LEVEL 4 LAYOUT PLAN
L2-106	SITWORK - PENTHOUSE LEVEL LAYOUT PLAN
L2-501	SITWORK - DETAILS

**ARCHITECTURAL**

SHEET #	DRAWING TITLE
A-003	STREETWALL COMPLIANCE ELEVATIONS
A-010	SITE PLAN, DEVELOPMENT STATISTICS
A-101	FLOOR PLAN - P3 PARKING
A-102	FLOOR PLAN - P2 PARKING
A-103	FLOOR PLAN - P1 PARKING
A-104	FLOOR PLAN - LEVEL 1
A-105	FLOOR PLAN - LEVEL 1 MEZZANINE
A-106	FLOOR PLAN - LEVEL 2
A-107	FLOOR PLAN - LEVEL 3
A-108	FLOOR PLAN - LEVEL 4
A-109	FLOOR PLAN - LEVEL 5
A-110	FLOOR PLAN - LEVEL 6
A-111	FLOOR PLAN - LEVEL 7
A-112	FLOOR PLAN - LEVEL 8
A-113	FLOOR PLAN - PENTHOUSE
A-114	OVERALL ROOF PLAN
A-201	BUILDING ELEVATION - NORTH
A-202	BUILDING ELEVATION - EAST
A-203	BUILDING ELEVATION - SOUTH
A-204	BUILDING ELEVATION - WEST
A-302	BUILDING CROSS SECTION
A-305	BUILDING CROSS SECTION
A-306	BUILDING CROSS SECTION

ARCHITECT

1 Canal St, Dartmouth NS B2Y 2W1 | zap.ca

CLIENT

ANCHOR GROUP MANAGEMENT LTD.

CONSULTANTS

CIVIL ENGINEER:

STRUCTURAL ENGINEER:

MECHANICAL & ELECTRICAL ENGINEERS:

LANDSCAPE ARCHITECT:















LEGEND		
EXISTING	PROFILE	PROPOSED
	GROUND	
	SANITARY	
	STORM	
	WATER	
	FOAM INSULATION	
	PIPE CROSSING	
	WATER VALVE	
	THRUST BLOCK	
	END CAP	

ARCHITECT

**Zzap** Zwicker Zareski architecture + planning  
1 Canal Street, Dartmouth, NS B2Y 2W1 Zzap.ca

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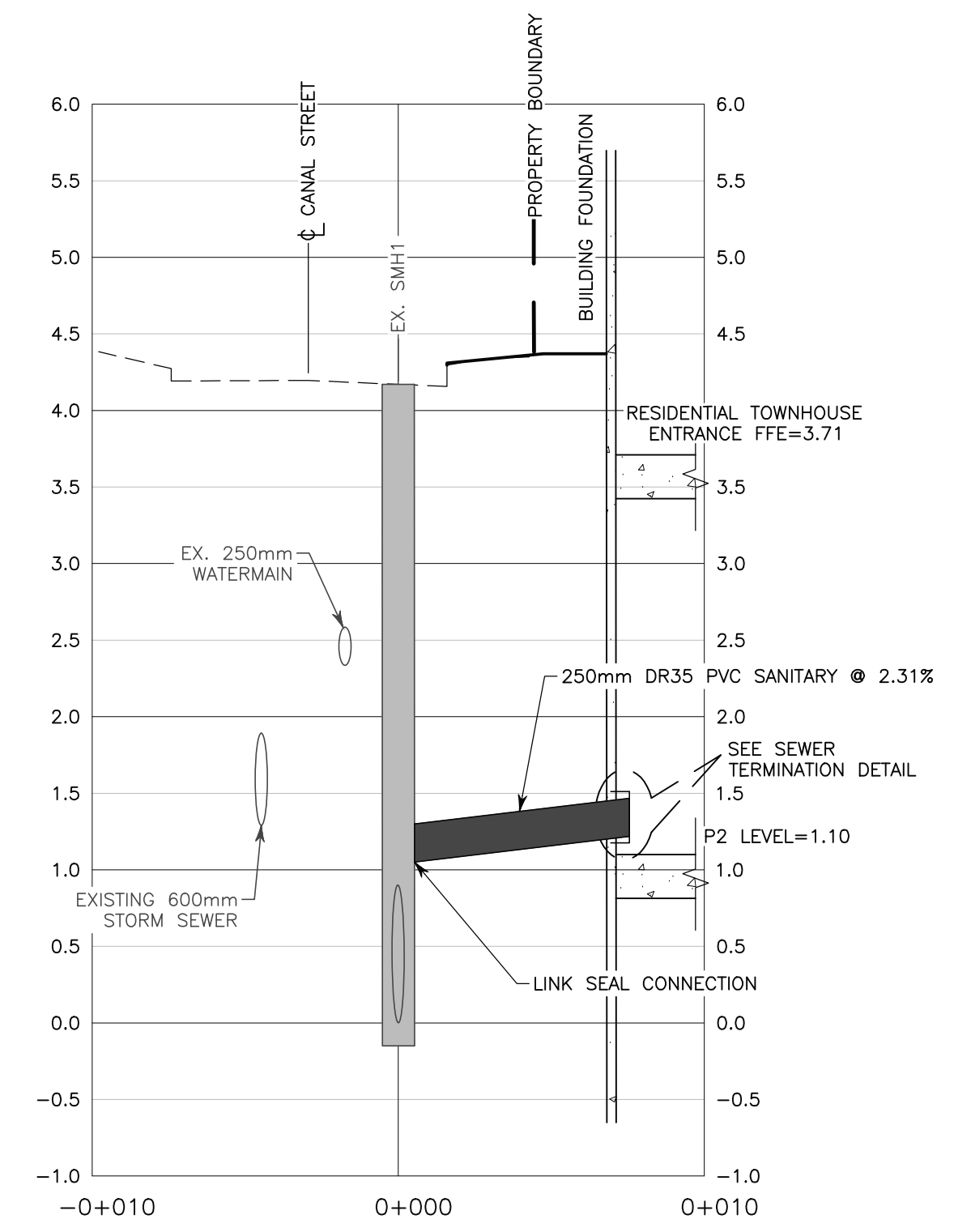
CONSULTANTS

**SDMM**

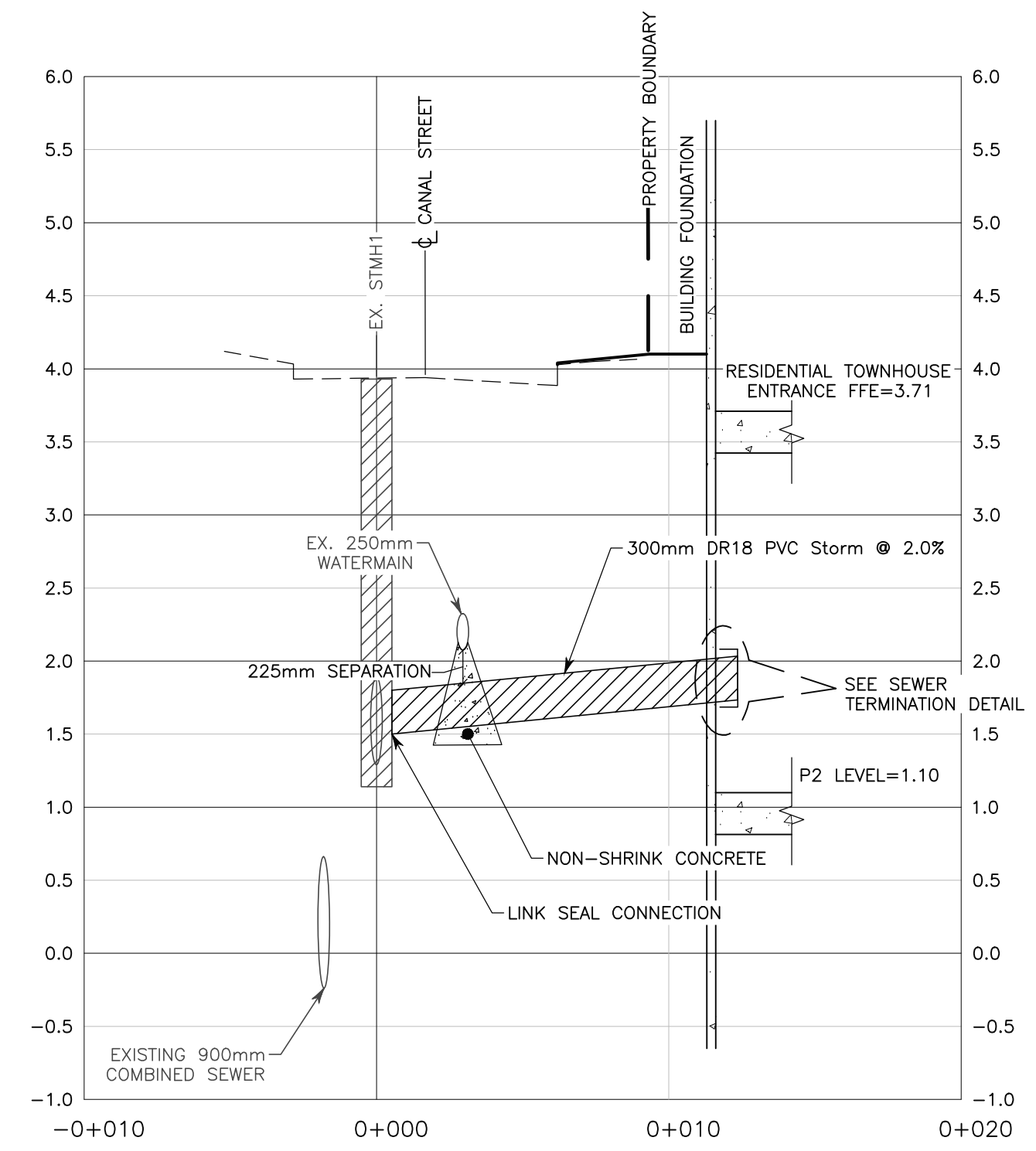
SEYMOUR, DUNDAS, McLENNAN & MACDONALD LTD.  
NOVA SCOTIA LAND SERVICES & CONSULTING ENGINEERS

36 KING STREET WEST, 4TH FLOOR, HALIFAX, NS B3S 1G8  
PHONE: (902) 405-1822 FAX: (902) 405-4873  
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FILE NO. 1-7-23 (35766)



**CANAL STREET PH2 SANITARY SERVICE PROFILE**  
SCALE= HORIZ: 1:200 VERT: 1:40



**CANAL STREET PH2 STORM SERVICE PROFILE**  
SCALE= HORIZ: 1:200 VERT: 1:40

NO.	REVISION	DATE
00	ISSUED FOR PERMIT	2022-11-29

PROJECT

**MOFFATT'S PHARMACY - PHASE II**  
184 PORTLAND STREET, DARTMOUTH NS - B2Y 1J3

DRAWING TITLE

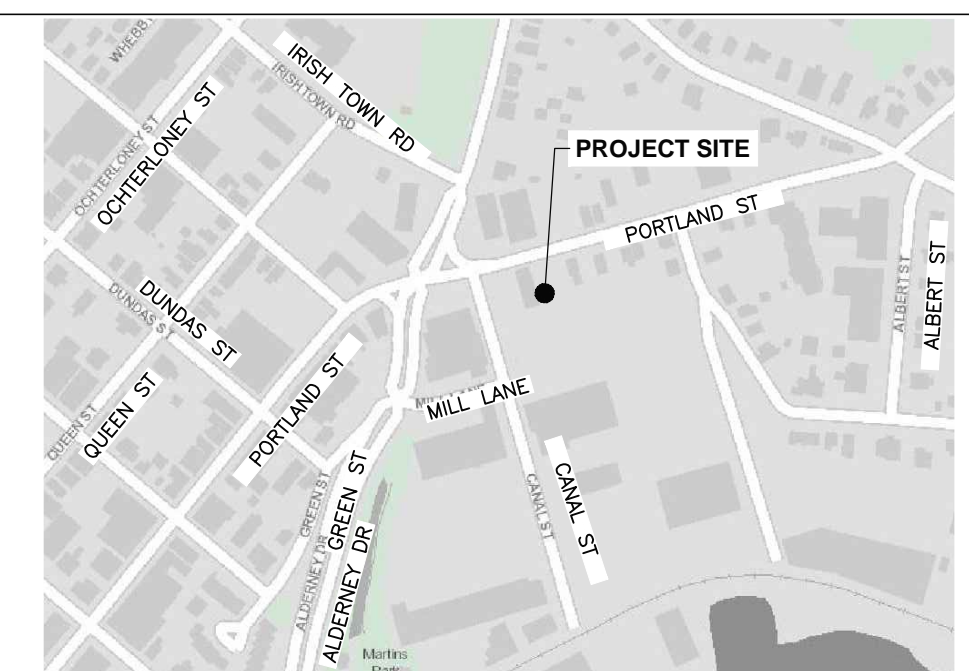
**SANITARY AND STORM PROFILES**

SCALE: AS NOTED DRAWN BY: D. ANDERSON  
PROJECT #: CHECKED BY: R. LANDRY  
PROJECT START DATE: 2022-03-11

DRAWING NUMBER

**C-103**





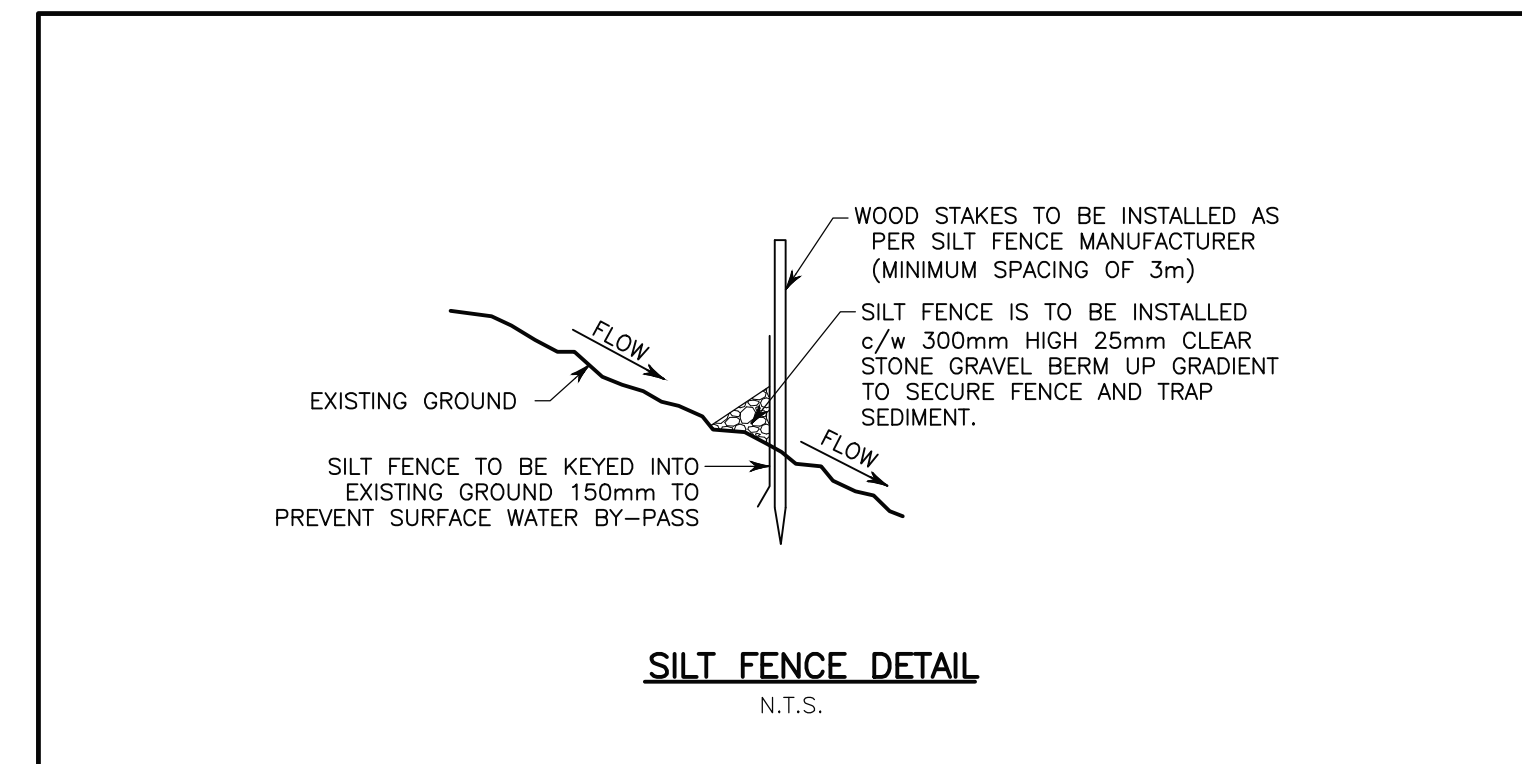
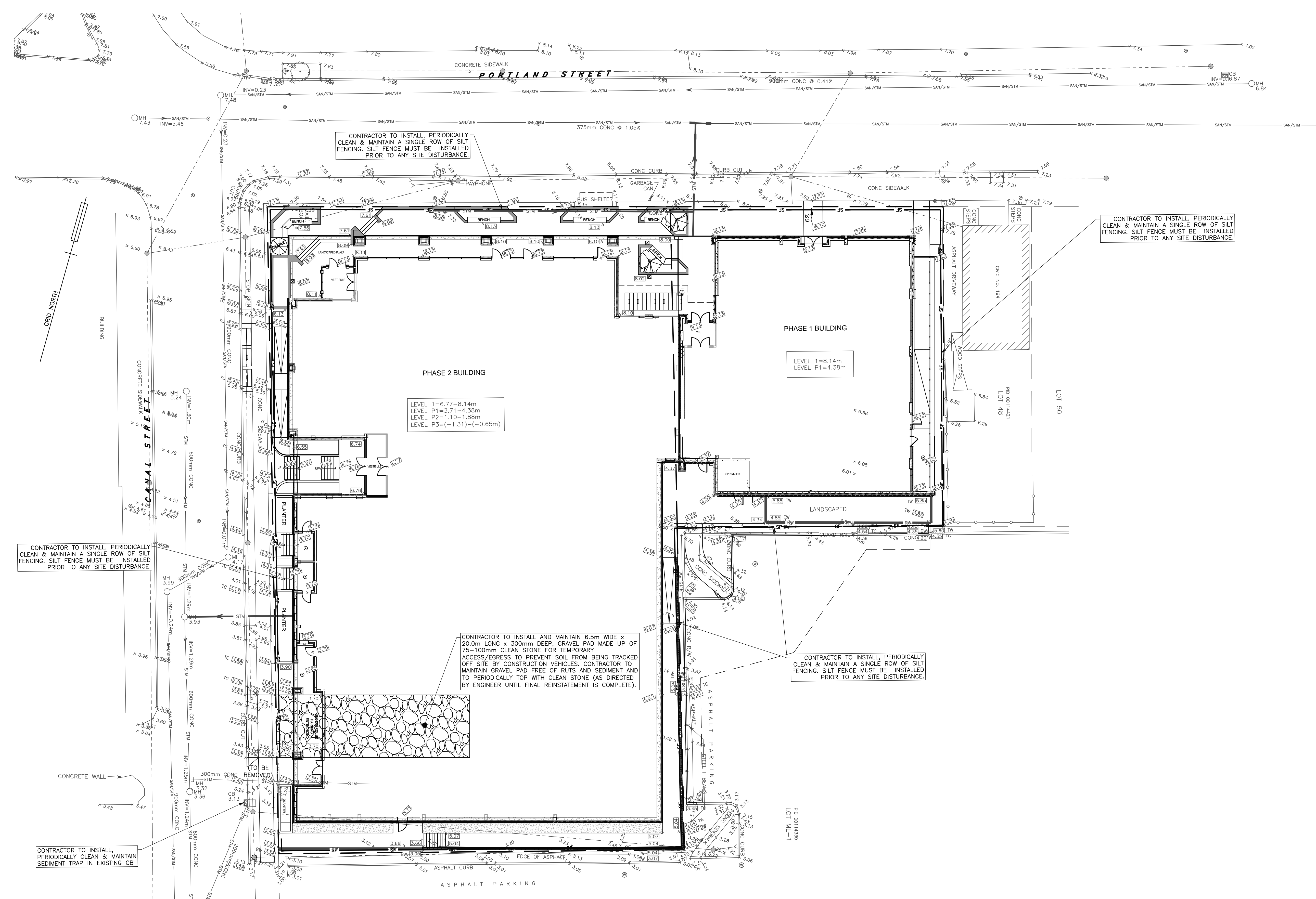
ARCHITECT  
**Zzap** Zwicker  
 Zareski  
 architecture +  
 planning  
 1 Canal Street, Dartmouth, NS B2Y 2W1 Zzap.ca

Stamp: PROFESSIONAL ENGINEER  
 REG. NO. 20220  
 SCALE: 1:200  
 DATE: 2022-11-29

LEGEND

EXISTING	PROPOSED
CONTOUR LINE	CONTOUR LINE
CATCH BASIN/PIT	CATCH BASIN/PIT
CULVERT	CULVERT
ROCK LINING/DAM	ROCK LINING/DAM
ROCK WALL/RETAINING WALL	ROCK WALL/RETAINING WALL
POWER POLE & ANCHOR/LIGHT STANDARD	POWER POLE & ANCHOR/LIGHT STANDARD
TREE	TREE
STREET SIGN/POLE/METER	STREET SIGN/POLE/METER
ELEVATION/GROUND	ELEVATION/GROUND
DRAINAGE/SCALE FLOW DIRECTION	DRAINAGE/SCALE FLOW DIRECTION
STORM MANHOLE & PIPE	STORM MANHOLE & PIPE
100yr. FLOOD LIMIT	100yr. FLOOD LIMIT
SILT FENCE	SILT FENCE
PROPERTY LINE/BOUNDARY	PROPERTY LINE/BOUNDARY
FENCE	FENCE
BUILDINGS	BUILDINGS
TOP OF SLOPE	TOP OF SLOPE
TOE OF SLOPE	TOE OF SLOPE
TREELINE	TREELINE
LIMITS OF DISTURBANCE	LIMITS OF DISTURBANCE
GRAVEL PAD (100-150mm STONE)	GRAVEL PAD (100-150mm STONE)

- NOTES:
- CONTRACTOR MUST PREVENT EROSION OR SILTATION OF SURFACE RUNOFF FROM LEAVING THE CONSTRUCTION SITE THROUGH THE USE OF EROSION AND SEDIMENTATION CONTROLS (SEE USE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION SITES), EXCAVATION DEWATERING BY MUNICIPAL STORM SEWER SYSTEMS MUST ADHERE TO HRM BY-LAW W-101.
  - ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH NOVA SCOTIA ENVIRONMENTAL REGULATIONS FROM BY-LAWS AND HRM MUNICIPAL SERVICE SYSTEMS "RED BOOK" (LATEST EDITION).
  - THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL ON THE SITE. DUST SHALL BE PREVENTED THROUGH THE APPLICATION OF WATER TO EXPOSED DRY SOILS TO PREVENT DUST FROM BEING GENERATED BEYOND PROVINCIAL AND MUNICIPAL REGULATIONS OR BY-LAWS OR FROM MIGRATING FROM THE CONSTRUCTION SITE.
  - THE CONTRACTOR SHALL HAVE A PERSON VISIT THE SITE DAILY WHO HAS SUCCESSFULLY COMPLETED THE EROSION AND SEDIMENT CONTROL COURSE PROVIDED BY THE N.S. TRANSPORTATION AND INFRASTRUCTURE REVENUE, TO REVIEW THE EROSION AND SEDIMENT CONTROLS.
  - THE LIMITS OF DISTURBANCE ARE IDENTIFIED ON THIS DRAWING. ANY ACTIVITY BY THE CONTRACTOR BEYOND THESE LIMITS REQUIRES WRITTEN AUTHORIZATION FROM THE CONSULTANT AND HRM.
  - CONTRACTOR MUST STAGE THE SITE WORK SO THAT NO MORE THAN 2000m<sup>2</sup> (MAX) AREA OF THE SITE HAS EXPOSED SOIL ON ANY GIVEN DAY. CAREFUL PLANNING OF THE EXCAVATION, CUT/FILL & GRUBBING OPERATION IS REQUIRED TO MEET THIS CONSTRUCTION STIPULATION.
  - CONTRACTOR TO CARRY OUT ALL WORK IN ACCORDANCE WITH ALL APPLICABLE MUNICIPAL, PROVINCIAL, AND FEDERAL REGULATIONS INCLUDING, BUT NOT LIMITED TO, THE OCCUPATIONAL HEALTH AND SAFETY ACT FOR THE PROVINCE OF NOVA SCOTIA.
  - ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF NOVA SCOTIA ENVIRONMENT.
  - CONTRACTOR TO OBTAIN PERTINENT APPROVALS AND PERMITS FROM HALIFAX REGIONAL MUNICIPALITY AND NOVA SCOTIA ENVIRONMENT (NSE) PRIOR TO CONSTRUCTION. CONTRACTOR TO COMPLY WITH ALL PERMIT REQUIREMENTS AND CONDITIONS.
  - PREVENTION OF ERODED SOILS AND SEDIMENT FROM LEAVING THE CONSTRUCTION SITE IS MANDATORY.
  - CONTRACTOR MUST PREVENT THE SILTATION OF WATERCOURSES OR STORM SEWERS ADJACENT TO CONSTRUCTION. SILT LAKEN RUNOFF MUST NOT BE PERMITTED TO EXIT THE SITE. MEASURES INDICATED ON THESE DRAWINGS ARE PROVIDED AS A GENERAL GUIDE IN AN EFFORT TO CONTROL EROSION AND SEDIMENTATION AND SHALL BY NO MEANS LIMIT ENVIRONMENTAL CONTROL MEASURES TO BE IMPLEMENTED. PROPER USE, INSTALLATION AND MAINTENANCE OF SUCH MEASURES ARE OUTLINED IN THE USE, EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION SITES. THE CONTRACTOR MUST RESPECT EROSION AND SEDIMENTATION CONTROLS FOR PROPER INSTALLATION AND MAINTENANCE ON A DAILY BASIS.
  - ALL DISTURBED AREAS, EXCLUDING ROCK OR AREAS FINISHED WITH ASPHALT, CONCRETE, GRAVEL OR SOO MUST BE REVEGETATED WITH HYDROSEED 1/4" 100mm THICK STRAW BLANKET. TEMPORARY STRAW COVER OVER EXPOSED SOILS MUST BE COMPLETED SO THAT EXPOSED SOILS DO NOT REMAIN EXPOSED LONGER THAN 5 DAYS, OR 1 DAY BEFORE SIGNIFICANT RAINFALL EVENT.
  - NO BURNING IS PERMITTED ON SITE. ALL BRUSH OR TREES DESTINED FOR BURNING SHALL BE CHIPPED AND USED ON SITE FOR EROSION CONTROL AS DIRECTED.
  - PORTLAND AND CANAL STREETS ARE TO BE KEPT FREE FROM SOILS & SEDIMENT WA DAILY CLEANUP.
  - STOCKPILES OF TOPSOIL ARE NOT PERMITTED UNLESS COVERED WITH 10 ML POLYETHYLENE TO PREVENT EROSION AND MOISTURE INFILTRATION AND PROTECTED FROM THE WIND. A DOUBLE PERIMETER OF SILT FENCE MUST BE INSTALLED/MAINTAINED AROUND BASE OF PILE.
  - A STOCKPILE OF SILT FENCE, STRAW BALES AND 25mm CLEAN STONE MUST BE MAINTAINED ON THE CONSTRUCTION SITE FOR EROSION AND SEDIMENTATION CONTROL AT ALL TIMES (MIN. 60 METERS OF SILT FENCING, 40 STRAW BALES & 20 CUBIC METERS OF 25mm CLEAN STONE).
  - CONTRACTOR SHALL PROVIDE DAILY MONITORING OF EROSION/SEDIMENTATION CONTROLS EVEN WHEN THE CONSTRUCTION SITE IS idle. PARTICULAR ATTENTION IS REQUIRED TO MAINTAIN OR UPGRADE MEASURES ON DAYS PRIOR TO FORECASTED RAIN. EVENTS RESOURCES MUST ALWAYS BE MADE AVAILABLE EVEN IF CONSTRUCTION ACTIVITIES NEED TO BE INTERRUPTED.
  - CONTRACTOR MUST INSTALL SILT BAGS IN EACH OF THE NEW CATCH BASINS & EXISTING STREET CATCH BASINS AND MAINTAIN UNTIL FINAL REVEGETATION IS COMPLETE.
  - ANY PUMPING OF CONSTRUCTION SITE EXCAVATION TO THE MUNICIPAL SEWER MUST FOLLOW STRICT ADHERENCE TO HRM BY-LAW W-101.
  - CONTRACTOR TO MAINTAIN EXISTING ASPHALT FOR CONSTRUCTION ACCESS & EGRESS FREE OF DIRT, DUST AND DEBRIS BY DAILY MONITORING AND SWEEPING. DAMAGED OR RUPTURED ASPHALT TO BE REPLACED WITH 75mm-100mm CLEAR STONE, BY ORDER OF THE ENGINEER. CLEANING OF ADJACENT PUBLIC STREETS IS TO BE PERFORMED AS NEEDED IN ACCORDANCE WITH STREETS BY-LAW S-300 SECTION 43. VIOLATIONS TO BY-LAW S-300 SECTION 43 WILL BE CHARGED UNDER BY-LAW S-300 SECTION 45. PENALTY IN THE AMOUNT OF \$5,000 PER OFFENCE.



NO.	REVISION	DATE
00	ISSUED FOR PERMIT	2022-11-29

PROJECT  
**MOFFATT'S PHARMACY - PHASE II**  
 184 PORTLAND STREET,  
 DARTMOUTH NS - B2Y 1J3

DRAWING TITLE  
**EROSION & SEDIMENTATION CONTROL PLAN**

SCALE: 1:200  
 PROJECT #:   
 PROJECT START DATE: 2022-03-11

DRAWN BY: D ANDERSON  
 CHECKED BY: R LANDRY

DRAWING NUMBER  
**C-104**







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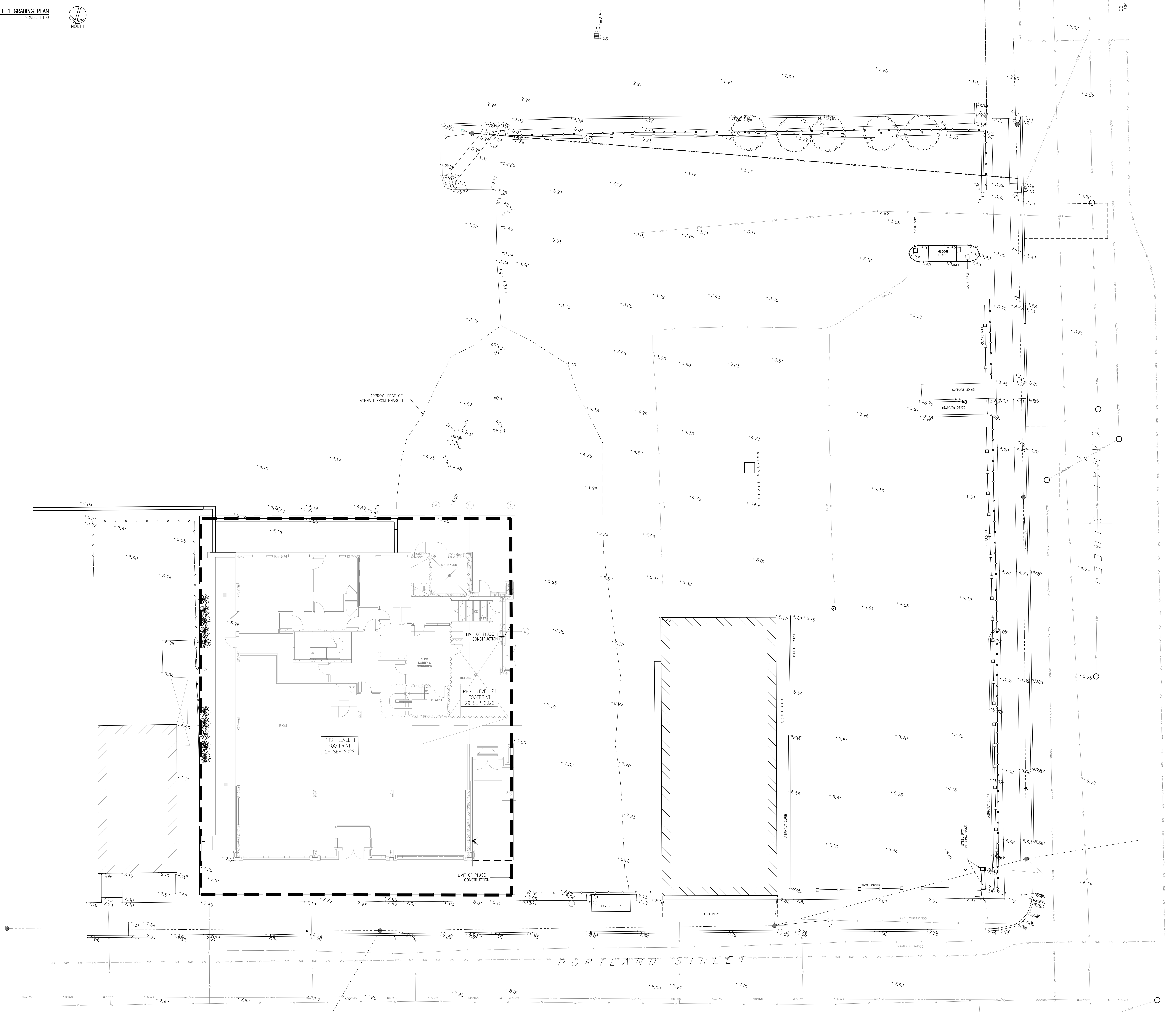

CLIENT

CONSULTANTS  
 CIVIL: SERVANI, DUNBRACK, MCKENZIE & MACDONALD LTD.  
 STRUCTURAL: CAMBELL COMEAU ENGINEERING LTD.  
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 ELECTRICAL: ELECTEC ENGINEERING INC.  
 LANDSCAPE: VOLLUCK MCKEE PETERSMANN & ASSOCIATES LTD.

**Vollick McKee Petersmann**  
 ASSOCIATES LTD.  
 LANDSCAPE ARCHITECTURE  
 SITE PLANNING, PROJECT MANAGEMENT  
 3008 Oxford Street, Suite 203, Halifax, Nova Scotia, Canada B3B 2Y9  
 Tel: 902 422 8514, Fax: 902 422 8512, info@vollickmckee.com, www.vollickmckee.com

LEGEND

SYMBOL	PERMETER OF LANDS SURVEYED
13.4	SPOT ELEVATION
○	MANHOLE
□	CATCHBASIN
—○—	CULVERT INVERT
—○—	BENCHMARK FOUND/SET
—○—	UTILITY POLE & AND/OR
○	LIGHT POLE
○	LIGHT STANDARD
○	FIRE HYDRANT
○	WATER VALVE
○	BOLLARD
○	SIGN POST
PID	PARCEL IDENTIFICATION NUMBER
CONC	CONCRETE
R/W	RETAINING WALL
—○—	CHAINLINK FENCE
—○—	WOOD FENCE
—○—	OVERHEAD WIRES
—○—	TOP OF SLOPE
—○—	TOE OF SLOPE
—○—	CENTRELINE OF DITCH/STREAM
—○—	SANITARY SEWER
—○—	STORM SEWER
—○—	COMBINED SEWER
—○—	WATERLINE
—○—	GAS LINE
—○—	UNDERGROUND CONDUIT
○	HARDWOOD TREE
○	SOFTWOOD TREE
—○—	PROPOSED NEW GRADE
TS/BS	TOP OF STEP/BOTTOM OF STEP
TW/BW	TOP OF WALL/BOTTOM OF WALL
HP/LP	LOCAL HIGH POINT/LOCAL LOW POINT



NO.	DESCRIPTION	DATE
2	ISSUED FOR DEVELOPMENT PERMIT	22-NOV 8
1	ISSUED FOR SITE PLAN APPROVAL	21-MAR 1
ID	REVISION	DATE

PROJECT: MOFFATT'S PHARMACY - PHASE II  
 184 PORTLAND STREET, DARTMOUTH NS - B2Y 1J3

DRAWING TITLE: SITWORK - REMOVALS PLAN

SCALE: 1:100  
 PROJECT #: 2022RMOF  
 ISSUED DATE: 2022-MM-DD

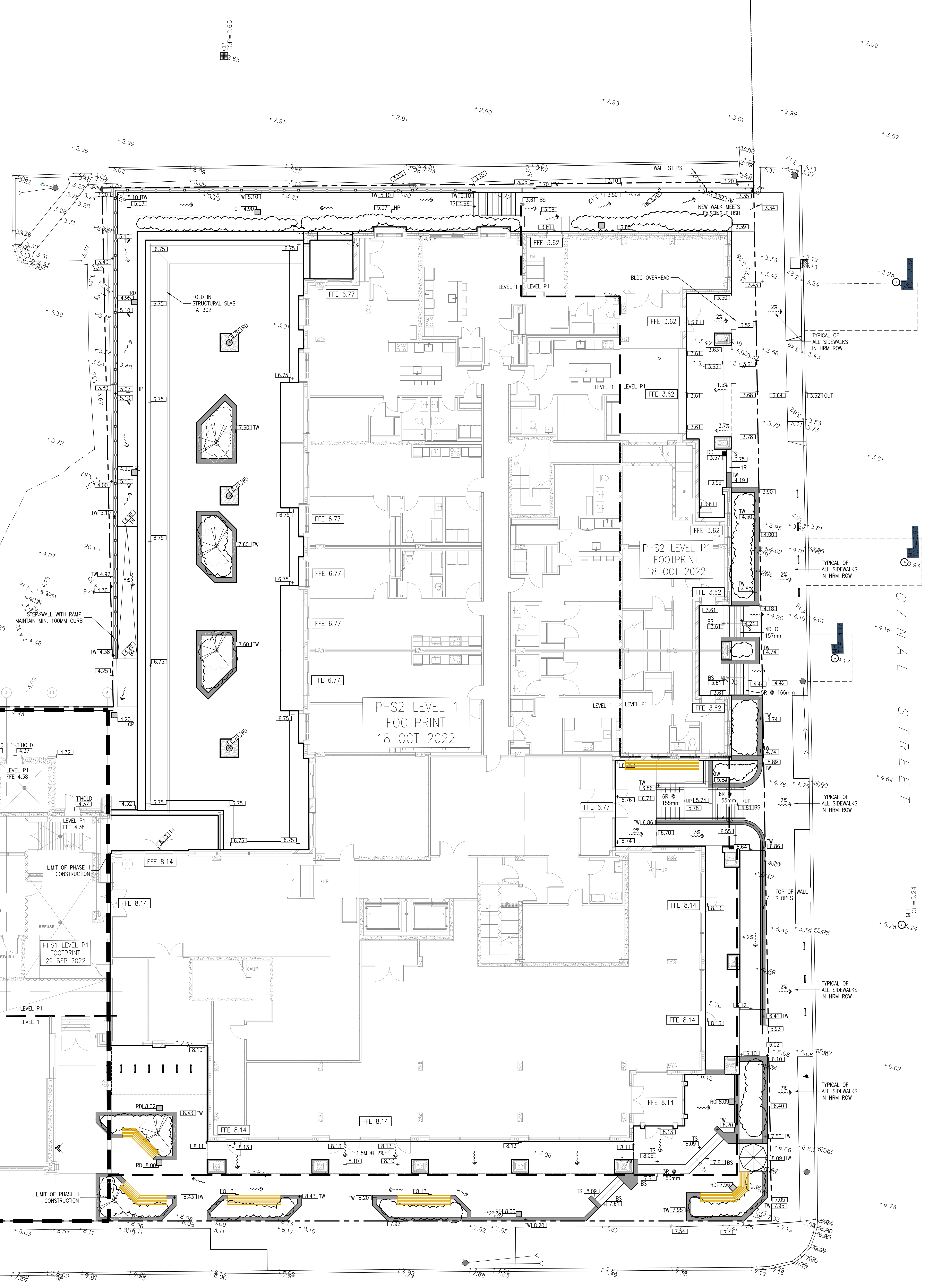
DRAWING NUMBER: L2-100



- TOPOGRAPHIC SURVEY NOTES:**
- THIS IS NOT AN OFFICIAL SURVEY DRAWING. SURVEY INFORMATION SHOWN ON THIS PLAN IS EXTRACTED FROM PROPERTY AND TOPOGRAPHICAL SURVEY UNDERTAKEN BY SERIANT, DUNBRACK, MCKENZIE AND MACDONALD LTD. LABELED "LANDS OF E.J.B. INVESTMENTS LTD & 3307309 NOVA SCOTIA LTD, PORTLAND STREET & CANAL STREET, DARTMOUTH, HALIFAX COUNTY, NOVA SCOTIA, DATED JULY 2, 2020 WHICH IS TO BE READ TOGETHER WITH THESE DRAWINGS FOR CONSTRUCTION (FILE NO. 1-7-23 (35216) - PLAN NO. 224-0) - CONTACT ADAM PATTERSON, NSLS.
  - VOLLUCK MCKEE PETERSMANN DOES NOT GUARANTEE THE ACCURACY OF THE SURVEY SHOWN ON THESE DRAWINGS.
  - CONTRACTOR TO CONFIRM SURVEY MONUMENTS/COORDINATE SYSTEMS AND BACKGROUND INFORMATION PRIOR TO CONSTRUCTION.
  - CONFIRM AS-BUILT CONDITIONS AND EXISTING GRADE ELEVATIONS BY DIRECT MEASUREMENT OR CONTROL SURVEY PRIOR TO CONSTRUCTING WORK. REPORT DISCREPANCIES TO CONSULTANT IMMEDIATELY.
  - DRAWINGS AND BACKGROUND TOPOGRAPHIC INFORMATION IS IN METRIC UNITS.
  - FIELD SURVEYS WERE CARRIED OUT ON JUNE 17, 18, 24, 2020.
  - CAUTION: DIGITAL DATA BASED ON THIS SURVEY MUST BE USED IN CONJUNCTION WITH THIS PLAN. USERS ARE ADVISED TO CONFIRM THE ACCURACY OF DIGITAL INFORMATION NOT EXPRESSLY INDICATED HEREON.
  - CAUTION: SERVICE INFORMATION SHOWN HEREON WAS COMPILED FROM FIELD SURVEY AND DATA OBTAINED FROM VARIOUS UTILITY OPERATORS. THE EXACT LOCATION OF UNDERGROUND SERVICES IS NOT CONFIRMED. CONTACT SHOULD BE MADE WITH ALL UTILITY OPERATORS RELATING TO THE CONFIRMATION OF THE SERVICES SHOWN HEREON AND FOR OTHER SERVICES WHICH MAY EXIST BEFORE CONSTRUCTION COMMENCES.

- EROSION CONTROL NOTES:**
- ALL CONSTRUCTION PROCEDURES ARE TO COMPLY WITH NOVA SCOTIA "ENVIRONMENTAL CONSTRUCTION PRACTICE SPECIFICATIONS" LATEST EDITION, APPLICABLE FEDERAL, PROVINCIAL AND LOCAL REGULATIONS AND PROJECT SPECIFICATIONS.
  - CONTRACTOR TO PROVIDE EROSION AND SEDIMENT CONTROL PLAN FOR REVIEW BY CLIENT PRIOR TO COMMENCING WORK. EROSION CONTROL PLAN TO BE DEVELOPED WITH SPECIFIC REFERENCE TO PROJECT LOCATION AND WORK SCHEDULE.
  - INSTALL EROSION CONTROL MEASURES AS PER SUBMITTED AND APPROVED CONTRACTORS EROSION AND SEDIMENTATION CONTROL PLAN AND AS RECOMMENDED AND/OR SPECIFIED IN THE M.S.E.T.R. STANDARD SPECIFICATION FOR HIGHWAY CONSTRUCTION AND MAINTENANCE, CURRENT EDITION.
  - INSPECT AND MAINTAIN EROSION MEASURES DAILY TO ENSURE PROPER OPERATION. IMMEDIATELY CORRECT DAMAGED OR NON-FUNCTIONING DEVICES.
  - EROSION CONTROL MEASURES TO BE IN PLACE AND ARE TO REMAIN IN GOOD WORKING ORDER UNTIL COMPLETION OF CONTRACT.

- GENERAL CONSTRUCTION NOTES:**
- OBTAIN APPROVAL OF CONSULTANT BEFORE REMOVING ANY SITE VEGETATION.
  - PROTECT ALL VEGETATION WHERE NOTED AND AS DIRECTED BY CONSULTANT TO REMAIN.
  - DO NOT SCALE THIS DRAWING FOR CONSTRUCTION.
  - DRAWINGS TO BE READ IN COORDINATION WITH SPECIFICATIONS.
  - WHERE CONDITIONS ENCOUNTERED DURING CONSTRUCTION OR EXCAVATION VARY FROM THOSE SHOWN, NOTIFY CONSULTANT IMMEDIATELY.



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Vollick McKee Petersmann & Associates Ltd.  
2022-NOV 8  
DARYL VOLLUCK

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- CONSULTANTS:**
- CIVIL: SERIANT, DUNBRACK, MCKENZIE & MACDONALD LTD.
  - STRUCTURAL: CAMRELL COMEAU ENGINEERING LTD.
  - MECHANICAL: EFP ENGINEERING LTD.
  - ELECTRICAL: ELECTEC ENGINEERING INC.
  - LANDSCAPE: VOLLUCK MCKEE PETERSMANN & ASSOCIATES LTD.

**Vollick McKee Petersmann & Associates Ltd.**  
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3008 Oxford Street, Suite 203, Halifax, Nova Scotia, Canada B3B 2Y6  
Tel: 902 422 8514 Fax: 902 422 8502  
info@vollickmckee.com www.vollickmckee.com

**LEGEND**

SYMBOL	PERIMETER OF LANDS SURVEYED
13.4	SPOT ELEVATION
OH	MANHOLE
CATCH	CATCHBASIN
CVINVT	CULVERT INVERT
BMP/BMS	BENCHMARK FUND/FEET
U	UTILITY POLE & AND/OR
L	LIGHT POLE
LS	LIGHT STANDARD
FH	FIRE HYDRANT
WV	WATER VALVE
B	BOLLARD
SP	SIGN POST
PID	PARCEL IDENTIFICATION NUMBER
CONC	CONCRETE
R/W	RETAINING WALL
CF	CHAINLINK FENCE
WF	WOOD FENCE
OW	OVERHEAD WIRES
TS	TOP OF SLOPE
TS	TOE OF SLOPE
CS	CENTRELINE OF DITCH/STREAM
SS	SANITARY SEWER
STW	STORM SEWER
CS	COMBINED SEWER
W	WATERLINE
GL	GAS LINE
UC	UNDERGROUND CONDUIT
HT	HARDWOOD TREE
ST	SOFTWOOD TREE
NG	PROPOSED NEW GRADE
TS/BS	TOP OF STEP/BOTTOM OF STEP
TW/BW	TOP OF WALL/BOTTOM OF WALL
HMP/LP	LOCAL HIGH POINT/LOCAL LOW POINT

2	ISSUED FOR DEVELOPMENT PERMIT	22-NOV 8
1	ISSUED FOR SITE PLAN APPROVAL	21-MAR 1
10	REVISION	DATE

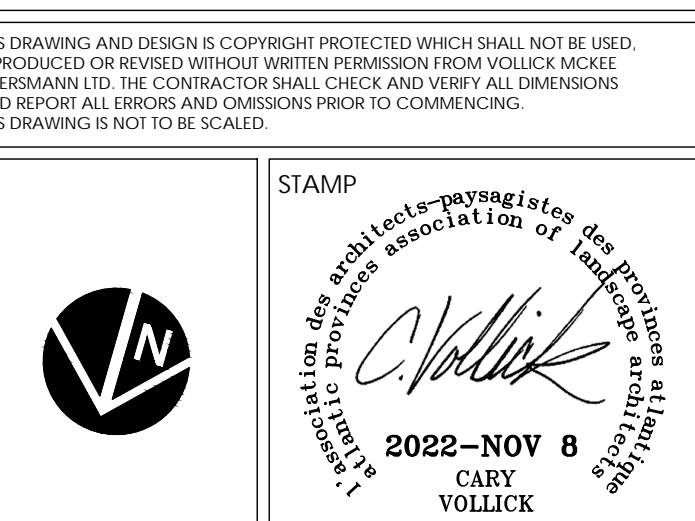
**PROJECT:** MOFFATT'S PHARMACY - PHASE II  
184 PORTLAND STREET, DARTMOUTH NS - B2Y 1J3

**DRAWING TITLE:** SITEWORK - LEVEL 1 GRADING PLAN

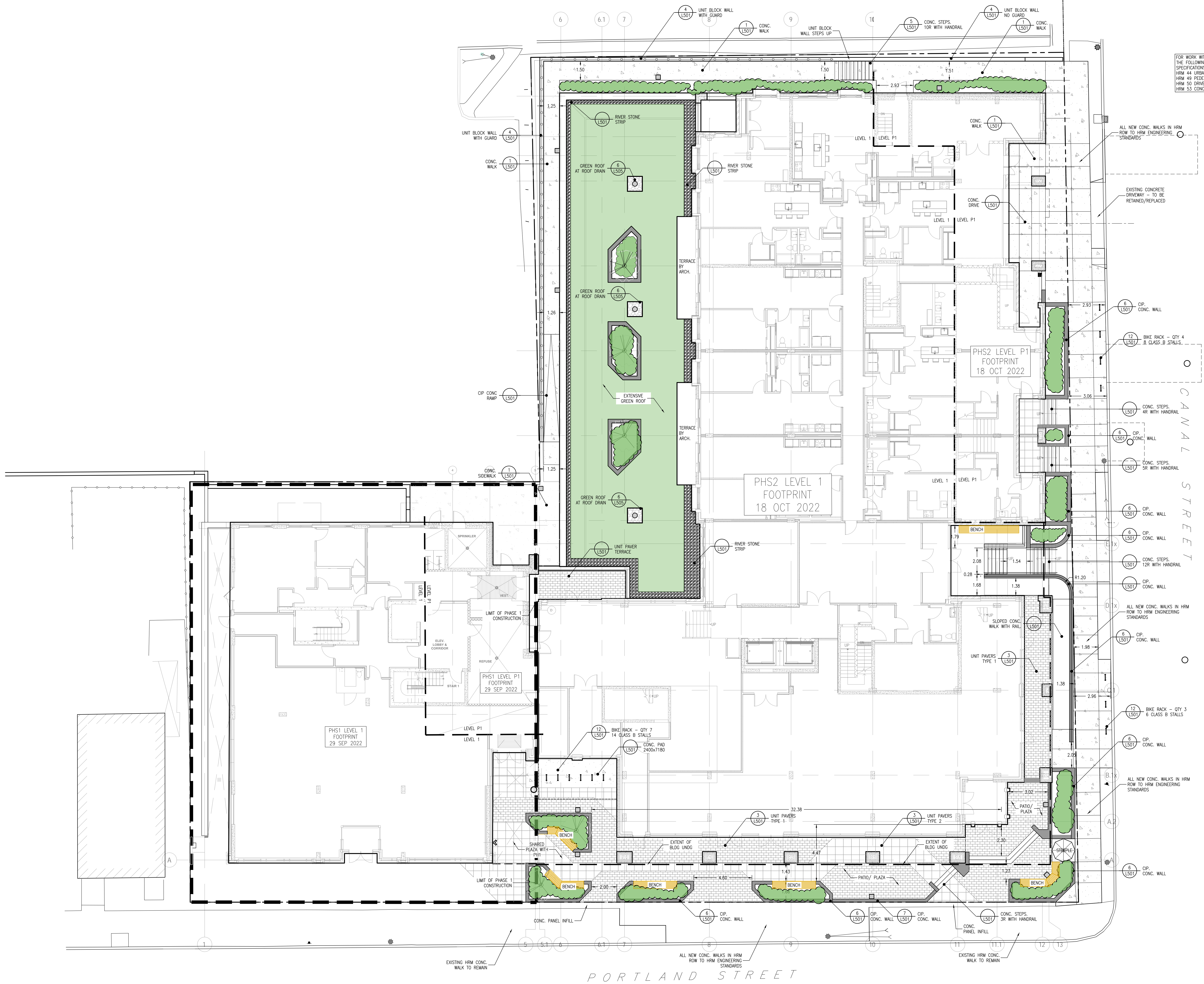
**SCALE:** 1:100  
**DRAWN BY:** MB & MM  
**PROJECT #:** 2022/MCF  
**CHECKED BY:** JMC  
**ISSUED DATE:** 2022-MM-DD

**DRAWING NUMBER:** L2-101





FOR WORK WITHIN HRM RIGHT OF WAY, USE THE FOLLOWING HRM STANDARD DETAILS & SPECIFICATIONS:  
HRM 44 URBAN SIDEWALK  
HRM 49 PEDESTRIAN RAMP ALIGNMENT  
HRM 50 DRIVEWAY RAMP  
HRM 53 CONCRETE CURB & GUTTER



- CLIENT
- CONSULTANTS
- CIVIL: SERVANT, DUNBRACK, MCKENZIE & MACDONALD LTD.
  - STRUCTURAL: CAMBELL COMEAU ENGINEERING LTD.
  - MECHANICAL: EFP ENGINEERING LTD.
  - ELECTRICAL: ELECTEC ENGINEERING INC.
  - LANDSCAPE: VOLLUCK MCKEE PETERSMANN & ASSOCIATES LTD.

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LEGEND

SYMBOL	PERIMETER OF LANDS SURVEYED
13.4	SPOT ELEVATION
OH	MANHOLE
CATCH	CATCHBASIN
CULV	CULVERT INVERT
BENCH	BENCHMARK FOUND/SET
UT	UTILITY POLE & ANCHOR
LI	LIGHT POLE
LS	LIGHT STANDARD
FD	FIRE HYDRANT
WV	WATER VALVE
SO	SOILLARD
SP	SIGN POST
PID	PARCEL IDENTIFICATION NUMBER
CONC	CONCRETE
R/W	RETAINING WALL
CH	CHAINLINK FENCE
WF	WOOD FENCE
OW	OVERHEAD WIRES
TS	TOP OF SLOPE
BS	TOP OF SLOPE
CS	CENTRELINE OF DITCH/STREAM
SS	SANITARY SEWER
STW	STORM SEWER
CSW	COMBINED SEWER
W	WATERLINE
GL	GAS LINE
UC	UNDERGROUND CONDUIT
HT	HARDWOOD TREE
ST	SOFTWOOD TREE
PG	PROPOSED NEW GRADE
TS/BS	TOP OF STEP/BOTTOM OF STEP
TW/BW	TOP OF WALL/BOTTOM OF WALL
HP/LP	LOCAL HIGH POINT/LOCAL LOW POINT

2	ISSUED FOR DEVELOPMENT PERMIT	22-NOV 8
1	ISSUED FOR SITE PLAN APPROVAL	21-MAR 1
ID	REVISION	DATE

PROJECT: MOFFATT'S PHARMACY - PHASE II  
184 PORTLAND STREET, DARTMOUTH NS - B2Y 1J3

DRAWING TITLE: **SITWORK - LEVEL 1 LAYOUT PLAN**

SCALE: 1:100  
DRAWN BY: MB & MM  
PROJECT #: 2022RMOF  
CHECKED BY: JMC  
ISSUED DATE: 2022-MM-DD  
DRAWING NUMBER: **L2-102**

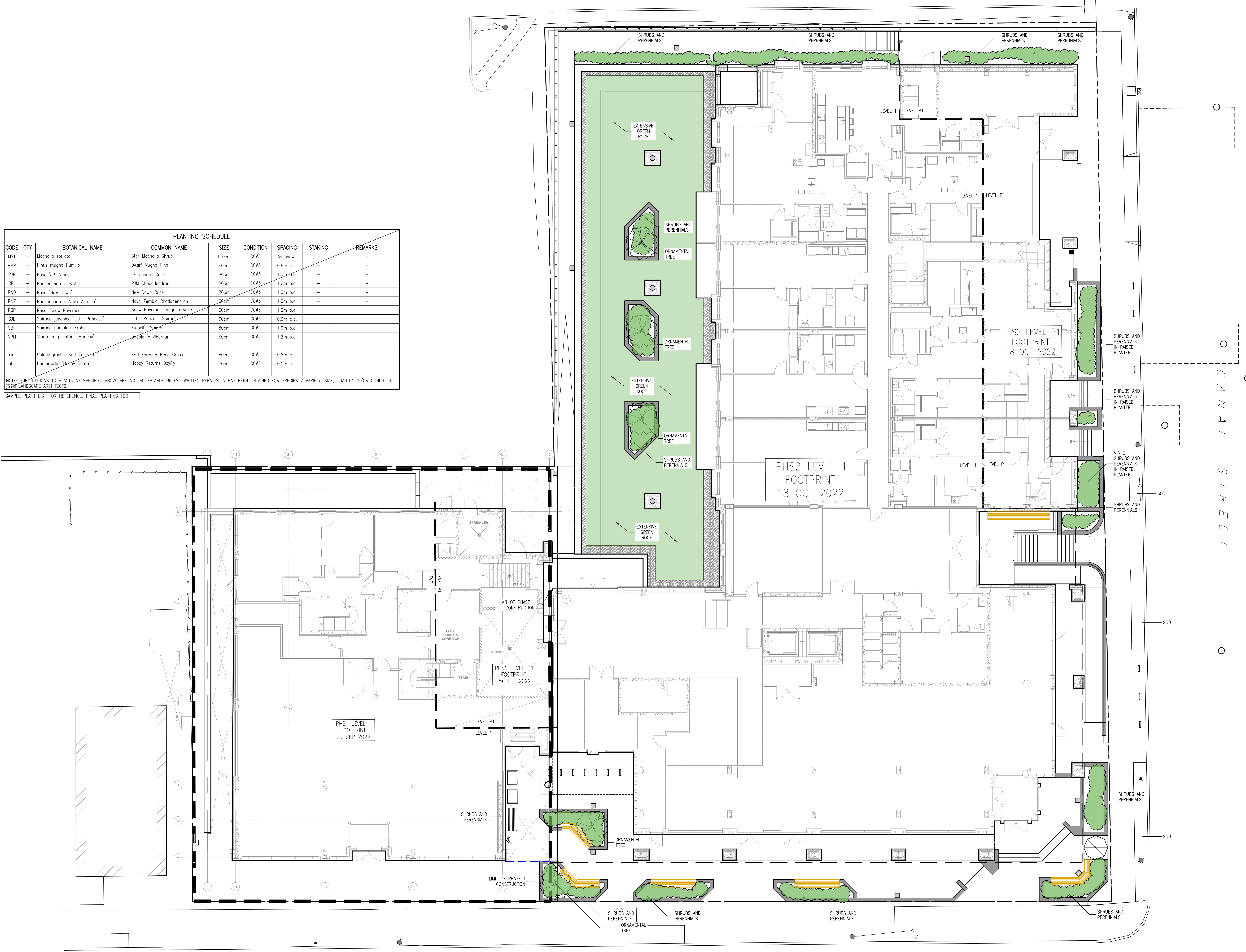
7/11/2022 2:44:51 PM



PLANTING SCHEDULE								
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING	STAKING	REMARKS
MST	-	Magnolia stellata	Star Magnolia Shrub	100cm	CG#5	As shown	-	-
PMP	-	Pinus mugo Pumilio	Dwarf Mugo Pine	40cm	CG#3	0.9m o.c.	-	-
RJP	-	Rosa 'IP Connell'	IP Connell Rose	80cm	CG#3	1.0m o.c.	-	-
RRJ	-	Rhododendron 'PJM'	PJM Rhododendron	80cm	CG#3	1.2m o.c.	-	-
RND	-	Rosa 'New Dawn'	New Dawn Rose	80cm	CG#3	1.0m o.c.	-	-
RNZ	-	Rhododendron 'Nova Zembla'	Nova Zembla Rhododendron	80cm	CG#3	1.0m o.c.	-	-
RSP	-	Rosa 'Snow Pavement'	Snow Pavement Rugosa Rose	80cm	CG#3	1.0m o.c.	-	-
SJL	-	Spiraea japonica 'Little Princess'	Little Princess Spiraea	80cm	CG#3	0.9m o.c.	-	-
SBF	-	Spiraea bumalda 'Froebel'	Froebel's Spiraea	80cm	CG#3	1.0m o.c.	-	-
VFM	-	Viburnum plicatum 'Mariesii'	Doisylette Viburnum	80cm	CG#3	1.2m o.c.	-	-
cd	-	Calamagrostis 'Karl Foerster'	Karl Foerster Reed Grass	80cm	CG#3	0.8m o.c.	-	-
hr	-	Hemerocallis 'Happy Returns'	Happy Returns Daylily	30cm	CG#2	0.5m o.c.	-	-

NOTE: SUBSTITUTIONS TO PLANTS AS SPECIFIED ABOVE ARE NOT ACCEPTABLE UNLESS WRITTEN PERMISSION HAS BEEN OBTAINED FOR SPECIES / VARIETY, SIZE, QUANTITY &/OR CONDITION FROM LANDSCAPE ARCHITECTS.

SAMPLE PLANT LIST FOR REFERENCE. FINAL PLANTING TBD



LEGEND

PERIMETER OF LANDS SURVEYED	SPOT ELEVATION
MANHOLE	CATCHBASIN
CULVERT INVERT	BENCHMARK FEET/FEET
BENCHMARK FEET/FEET	UTILITY POLE & ANCHOR
LIGHT POLE	LIGHT STANDARD
FIRE HYDRANT	WATER VALVE
SCOLLARD	SIGN POST
PARCEL IDENTIFICATION NUMBER	CONCRETE
RETAINING WALL	CHAINLINK FENCE
WOOD FENCE	OVERHEAD WIRES
TOP OF SLOPE	TOE OF SLOPE
CENTRELINE OF DITCH/STREAM	SANITARY SEWER
STORM SEWER	COMBINED SEWER
WATERLINE	GAS LINE
UNDERGROUND CONDUIT	HARDWOOD TREE
SOFTWOOD TREE	PROPOSED NEW GRADE
TOP OF STEP/BOTTOM OF STEP	TOP OF WALL/BOTTOM OF WALL
LOCAL HIGH POINT/LOCAL LOW POINT	

2	ISSUED FOR DEVELOPMENT PERMIT	22-NOV-8
1	ISSUED FOR SITE PLAN APPROVAL	21-MAR-1
ID	REVISION	DATE

PROJECT  
**MOFFATT'S PHARMACY - PHASE II**  
184 PORTLAND STREET,  
DARTMOUTH NS - B2Y 1J3

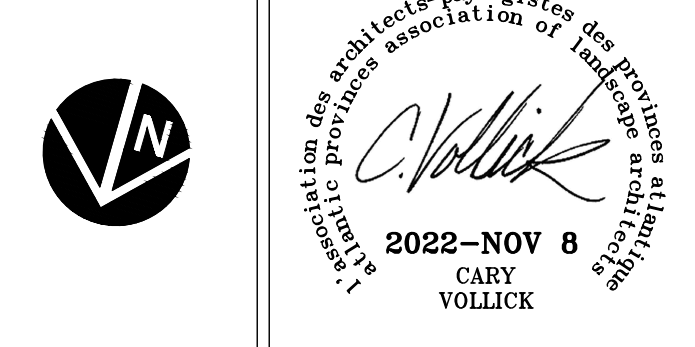
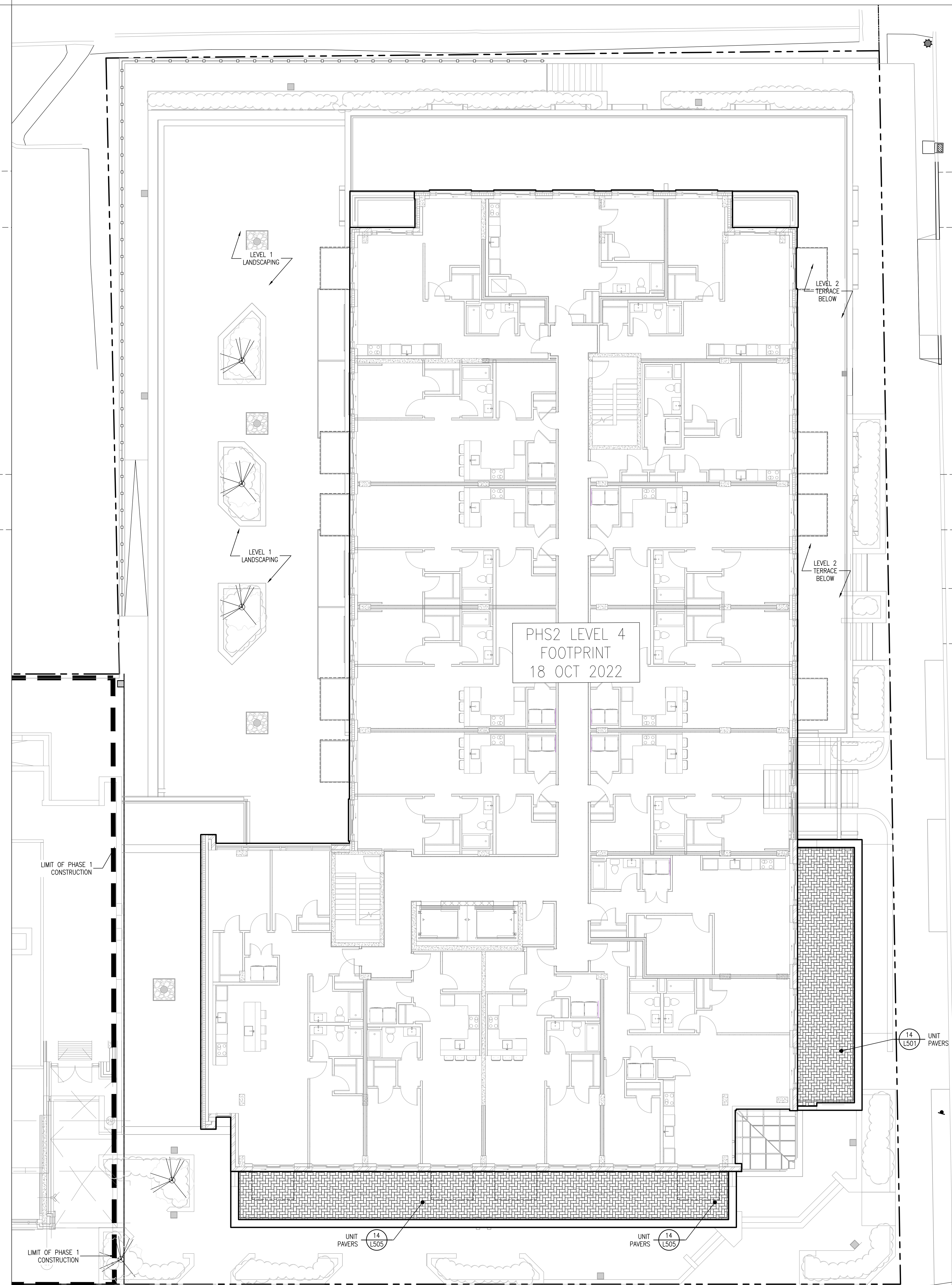
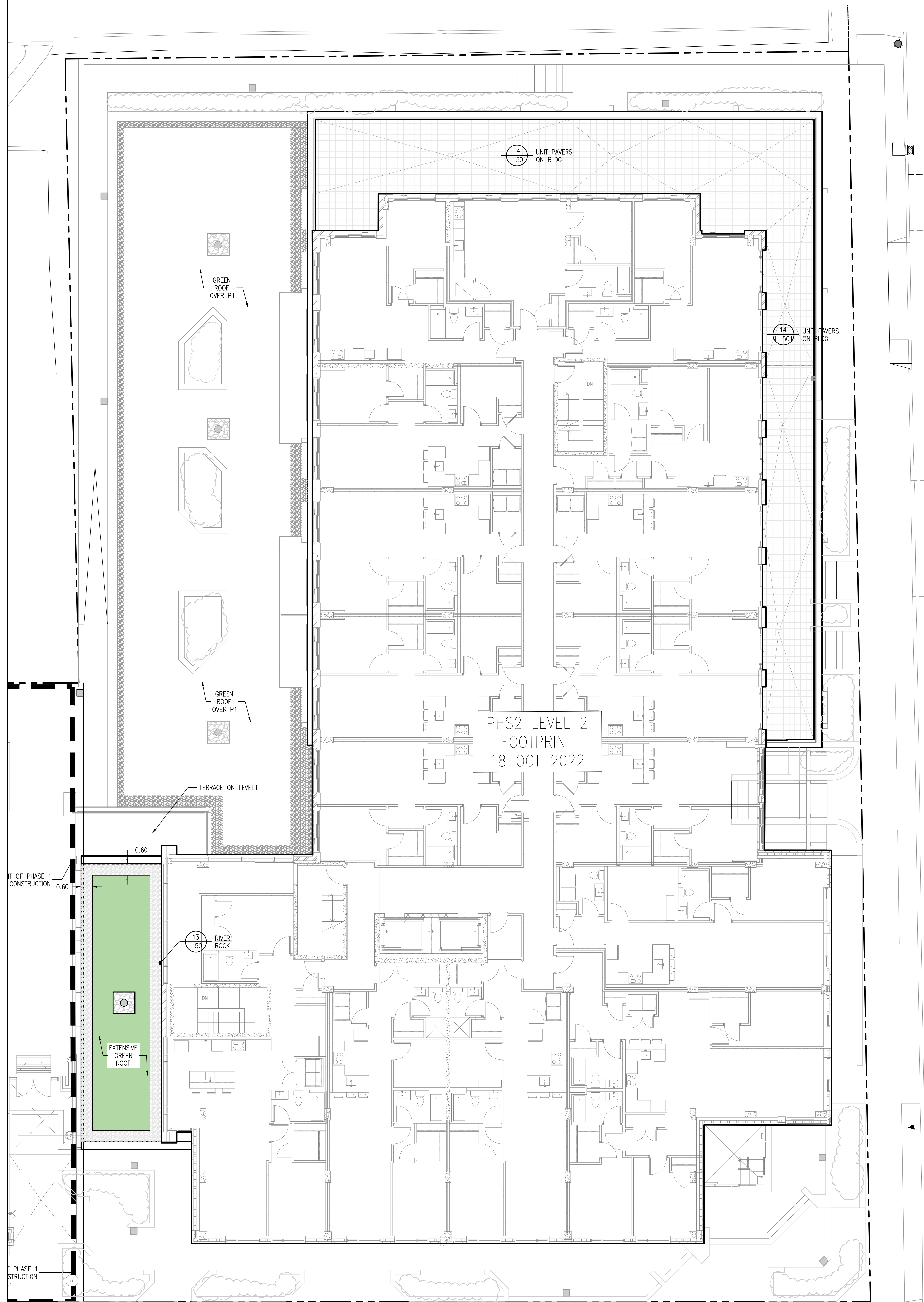
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**SITWORK - LEVEL 1 PLANTING PLAN**

SCALE: 1:100  
PROJECT #: 2022RMOF  
ISSUED DATE: 2022-MM-DD

DRAWN BY: MB & MM  
CHECKED BY: JMC

DRAWING NUMBER  
**L2-103**





CLIENT

CONSULTANTS  
 CIVIL: SERVANT, DUNBRACK, MCKENZIE & MACDONALD LTD.  
 STRUCTURAL: CABELL COMEAU ENGINEERING LTD.  
 MECHANICAL: EFP ENGINEERING LTD.  
 ELECTRICAL: ELECTEC ENGINEERING INC.  
 LANDSCAPE: VOLLUCK MCKEE PETERSMANN & ASSOCIATES LTD.



LANDSCAPE ARCHITECTURE  
 SITE PLANNING PROJECT MANAGEMENT

3008 Oxford Street  
Suite 200  
Halifax, Nova Scotia  
Canada B3L 2Y6

LEGEND	
PERIMETER OF LANDS SURVEYED	
SPOT ELEVATION	13.4
MANHOLE	○
CATCHBASIN	□
CULVERT INVERT	▽
BENCHMARK FUND/FEET	BM/F
UTILITY POLE & ANCHOR	○
LIGHT POLE	○
LIGHT STANDARD	○
FIRE HYDRANT	○
WATER VALVE	○
BOLLARD	○
SIGN POST	○
PARCEL IDENTIFICATION NUMBER	PID
CONCRETE	CONC
RETAINING WALL	R/W
CHAINLINK FENCE	CL
WOOD FENCE	WF
OVERHEAD WIRES	OW
TOP OF SLOPE	TS
TOE OF SLOPE	TS
CENTRELINE OF DITCH/STREAM	CD
SANITARY SEWER	SS
STORM SEWER	STW
COMBINED SEWER	CS
WATERLINE	W
GAS LINE	GL
UNDERGROUND CONDUIT	UC
HARDWOOD TREE	HT
SOFTWOOD TREE	ST
PROPOSED NEW GRADE	PN
TOP OF STEP/BOTTOM OF STEP	TS/BS
TOP OF WALL/BOTTOM OF WALL	TW/BW
LOCAL HIGH POINT/LOCAL LOW POINT	HP/LP

NO.	DESCRIPTION	DATE
2	ISSUED FOR DEVELOPMENT PERMIT	22-NOV 8
1	ISSUED FOR SITE PLAN APPROVAL	21-MAR 1
0	ISSUED FOR PRELIMINARY APPROVAL	20-SEP 1

PROJECT  
**MOFFATT'S PHARMACY - PHASE II**  
 184 PORTLAND STREET,  
 DARTMOUTH NS - B2Y 1J3

DRAWING TITLE  
**SITework - LEVEL 2 & LEVEL 4 LAYOUT PLAN**

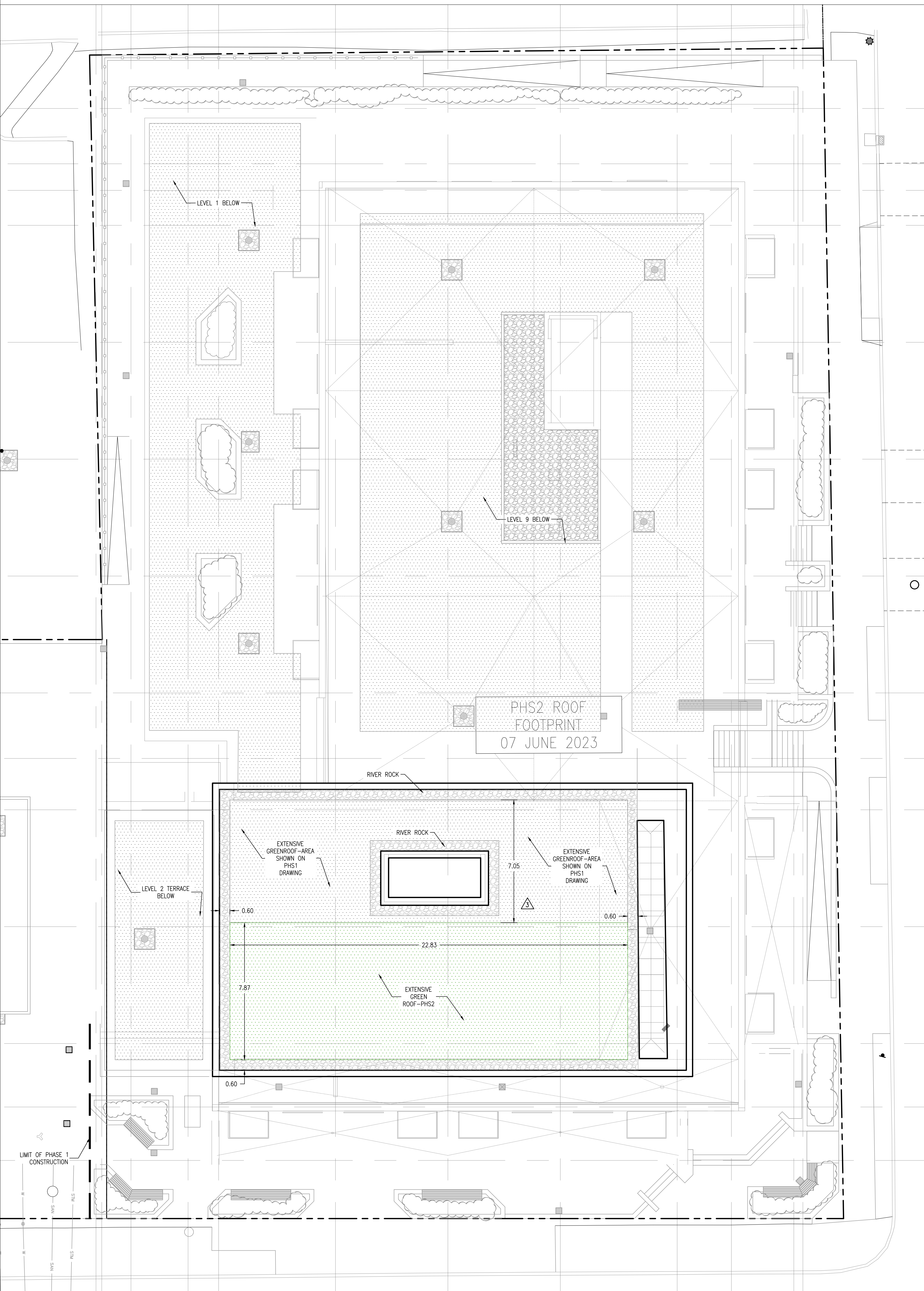
SCALE: 1:100  
 PROJECT #: 2022RMOF  
 ISSUED DATE: 2022-MM-DD

DRAWING NUMBER  
**L2-105**



\* HRM LUB 40% GREEN ROOF REQUIREMENT FOR PHASE 1 IS BEING ACCOMMODATED ON THE FLAT ROOF AREA OF PHASE 2. THE PHASE 1 RELOCATION QUANTITY IS IN ADDITION TO PHASE 2 GREEN ROOF REQUIRED AREAS.

GREEN ROOF AREA			
FLOOR	FLAT ROOF	GREEN ROOF	GREEN ROOF PERCENTAGE
LEVEL 2	299 m <sup>2</sup>	70 m <sup>2</sup>	-
LEVEL 4	118 m <sup>2</sup>	0 m <sup>2</sup>	-
AMENITY AREA	946 m <sup>2</sup>	454 m <sup>2</sup>	-
PENT HOUSE TOP	390 m <sup>2</sup>	180 m <sup>2</sup>	TOTAL GREEN ROOF %
TOTAL	1753 m <sup>2</sup>	704 m <sup>2</sup>	40%



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**STAMP**  
C. Vollick  
2023-JUNE 14  
CARY VOLLICK

**CLIENT**  
ANCHOR GROUP MANAGEMENT LTD.

**CONSULTANTS**  
CIVIL: SERVANT, DUNBRACK MCKENZIE & MACDONALD LTD.  
STRUCTURAL: CAMBELL COMEAU ENGINEERING LTD.  
MECHANICAL: EFP ENGINEERING LTD.  
ELECTRICAL: ELECTEC ENGINEERING INC.  
LANDSCAPE: VOLLICK MCKEE PETERSMANN & ASSOCIATES LTD.

**Vollick McKee Petersmann**  
ASSOCIATES LTD.  
LANDSCAPE ARCHITECTURE  
SITE PLANNING PROJECT MANAGEMENT  
3008 Oxford Street  
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Tel: 902 422 8514  
Fax: 902 422 8512  
info@vollickmckee.com  
www.vollickmckee.com

**LEGEND**

SYMBOL	DESCRIPTION
▽13.4	SPOT ELEVATION
○MH	MANHOLE
○	CATCHBASIN
○	CULVERT INVERT
○	BENCHMARK FUND/FEET
○	UTILITY POLE & ANCHOR
○	LIGHT POLE
○	LIGHT STANDARD
○	FIRE HYDRANT
○	WATER VALVE
○	SOLLARD
○	SIGN POST
PID	PARCEL IDENTIFICATION NUMBER
CONC	CONCRETE
R/W	RETAINING WALL
○	CHAINLINK FENCE
○	WOOD FENCE
○	OVERHEAD WIRES
○	TOP OF SLOPE
○	TOE OF SLOPE
○	CENTRELINE OF DITCH/STREAM
○	SANITARY SEWER
○	STW
○	STORM SEWER
○	COMBINED SEWER
○	WATERLINE
○	GAS LINE
○	UNDERGROUND CONDUIT
○	HARDWOOD TREE
○	SOFTWOOD TREE
○	PROPOSED NEW GRADE
○	TOP OF STEP/BOTTOM OF STEP
○	TOP OF WALL/BOTTOM OF WALL
○	LOCAL HIGH POINT/LOCAL LOW POINT

- △ CORRIDOR RELOCATED
- △ MECHANICAL SPACE ADDED
- △ GREEN ROOF ADDED

ID	REVISION	DATE
5	ISSUED FOR DEVELOPMENT PERMIT	23-JUNE 14
4	ISSUED FOR DEVELOPMENT PERMIT	23-MAY 17
3	ISSUED FOR DEVELOPMENT PERMIT	23-APR 17
2	ISSUED FOR DEVELOPMENT PERMIT	22-NOV 8
1	ISSUED FOR SITE PLAN APPROVAL	21-MAR 1

**PROJECT**  
MOFFATT'S PHARMACY - PHASE II  
184 PORTLAND STREET, DARTMOUTH NS - B2Y 1J3

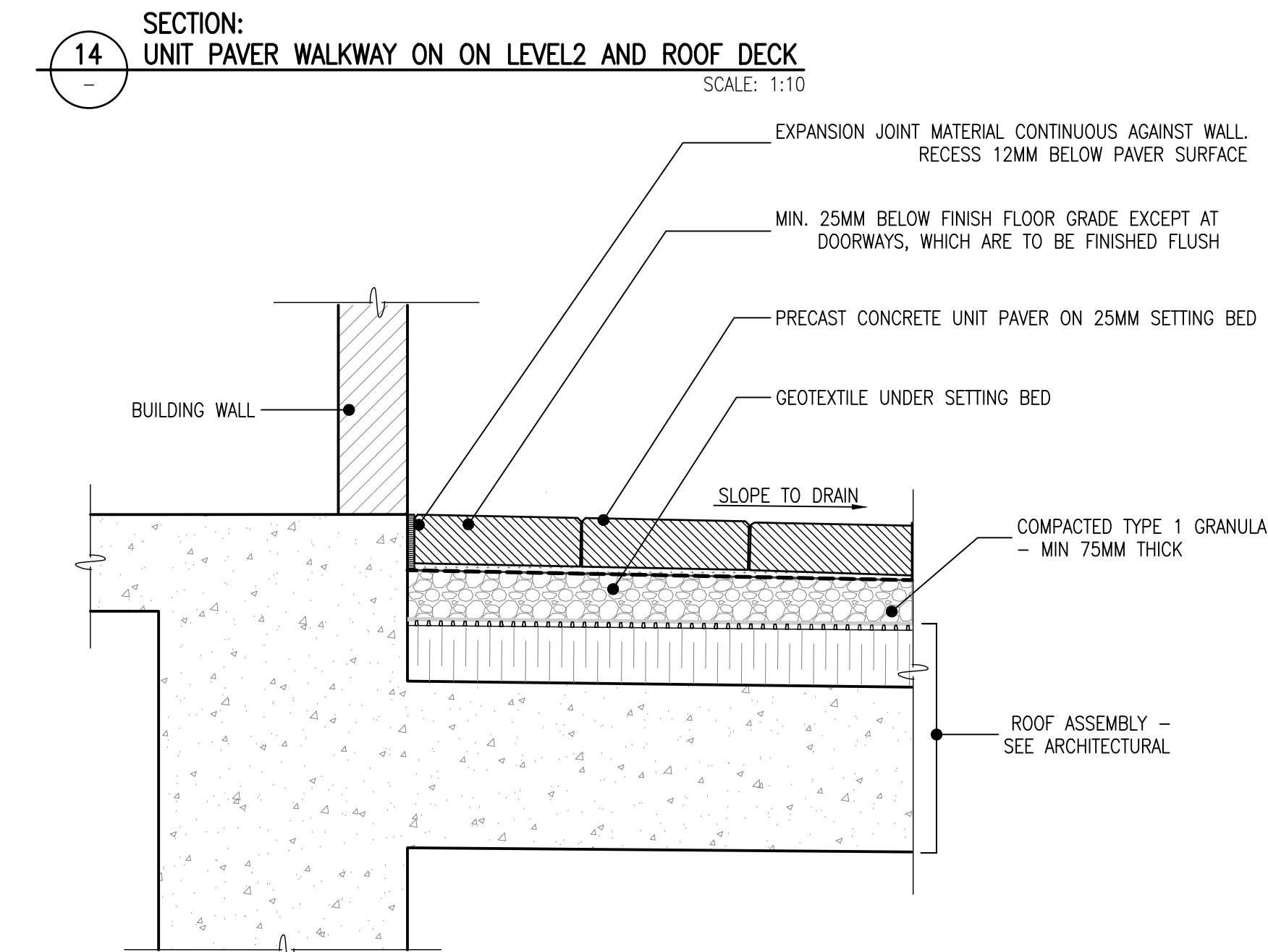
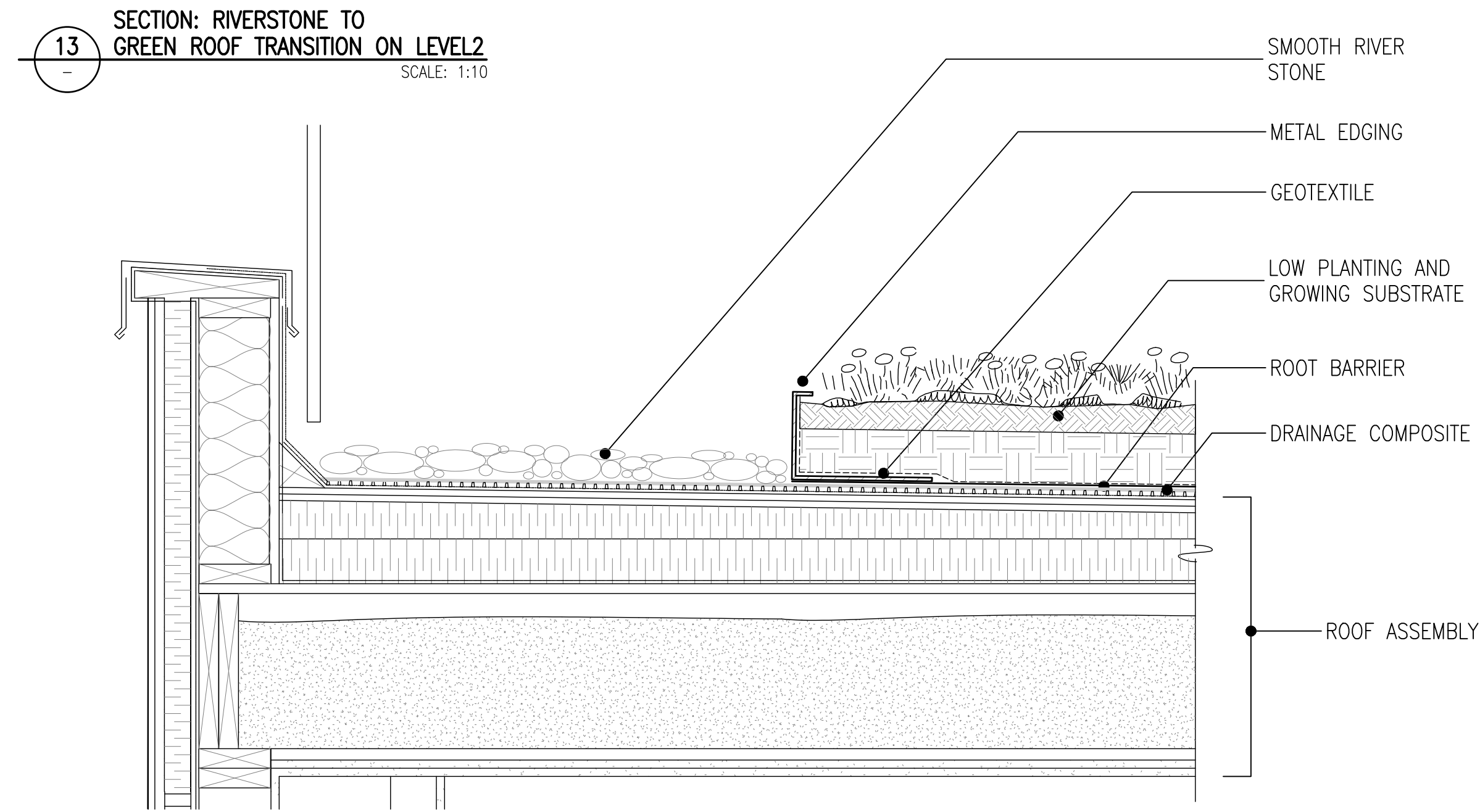
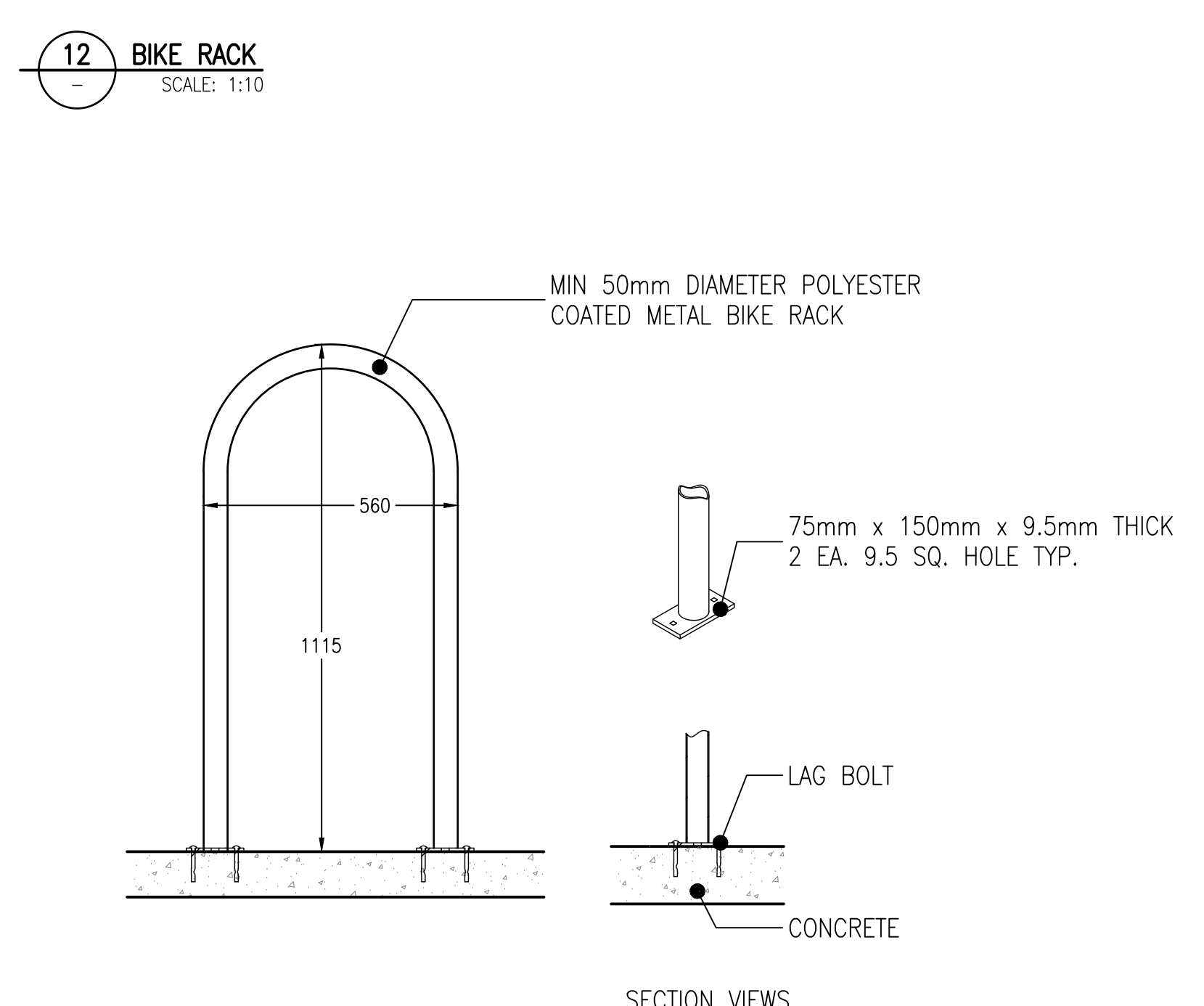
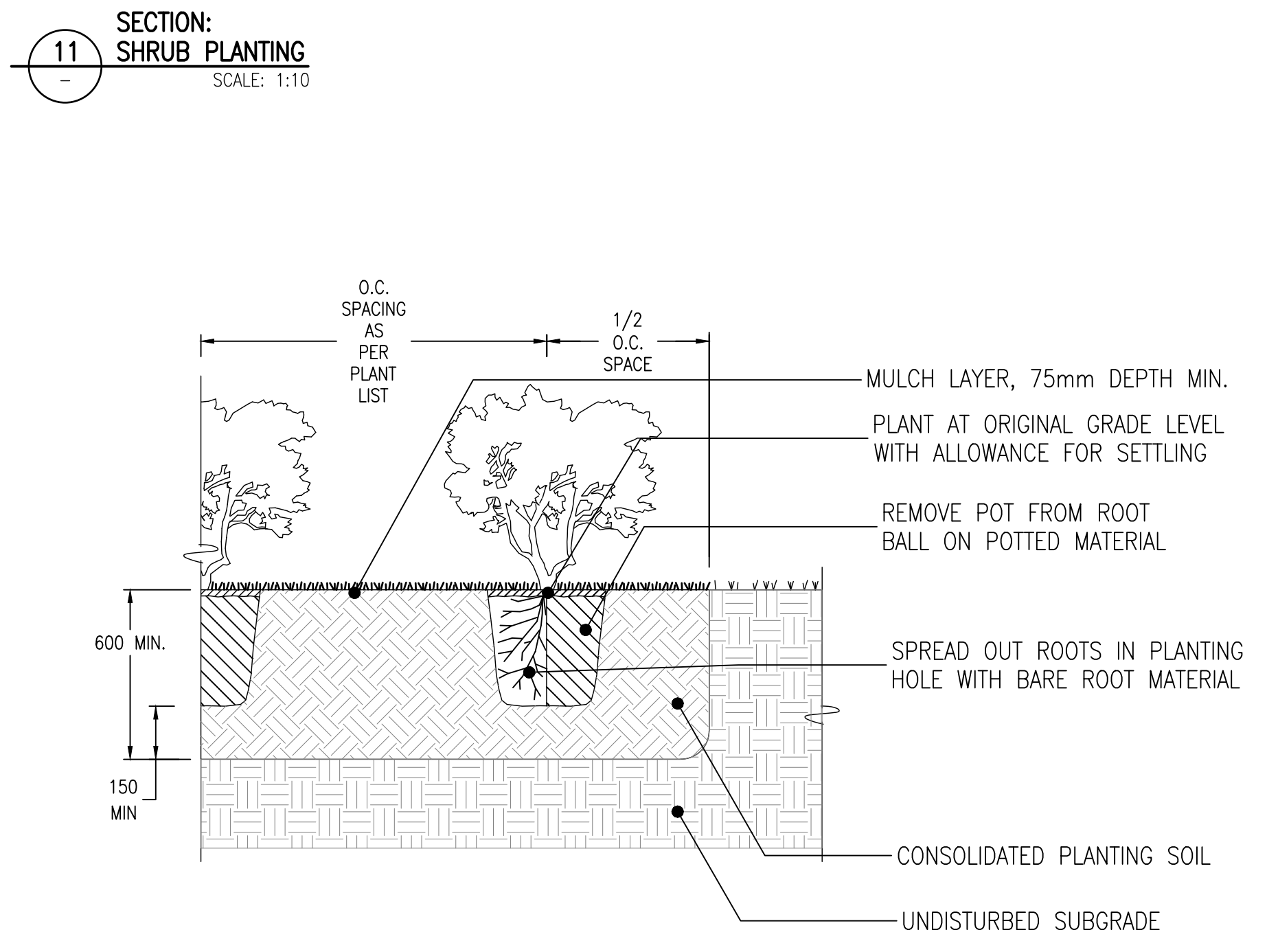
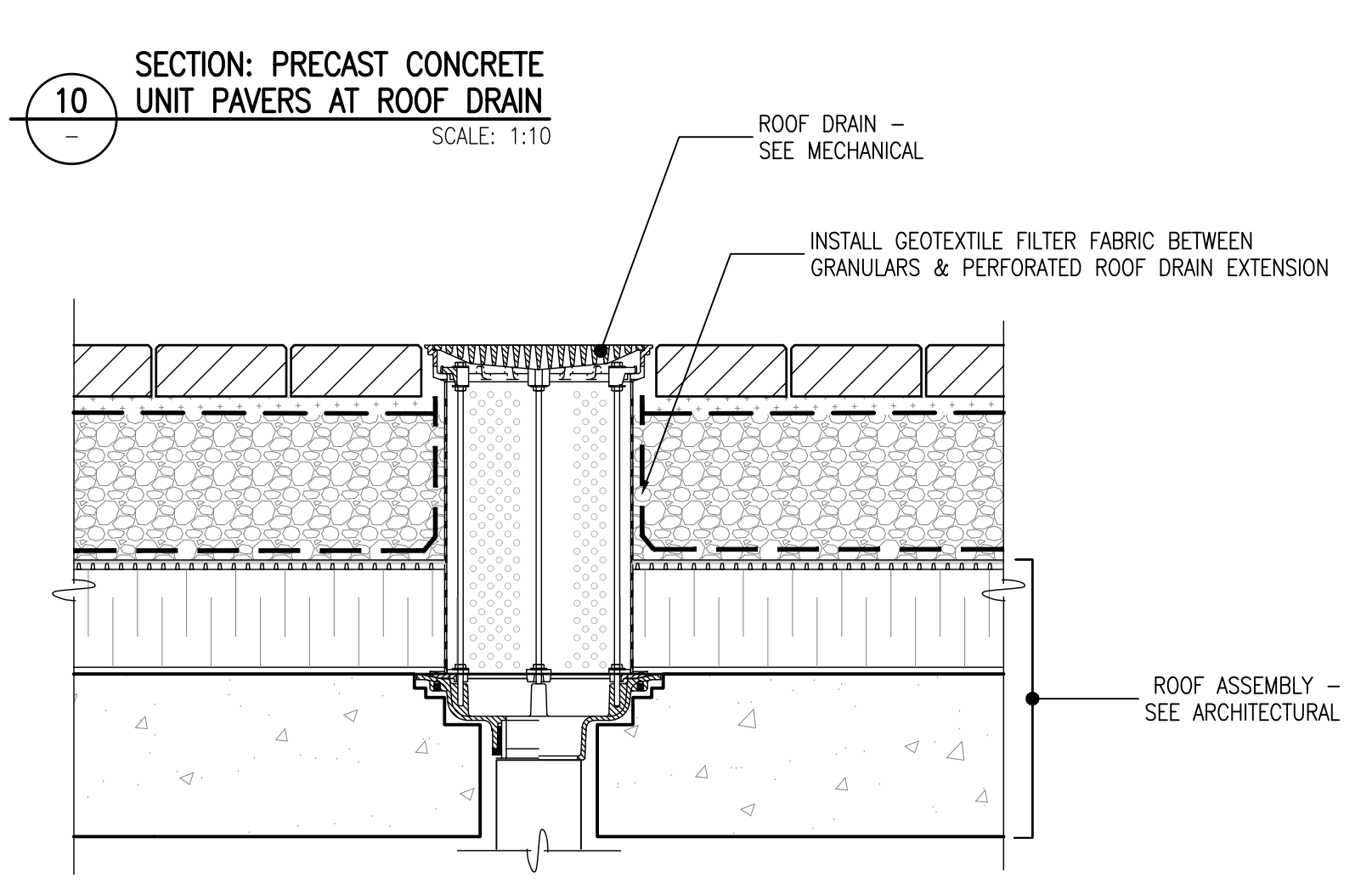
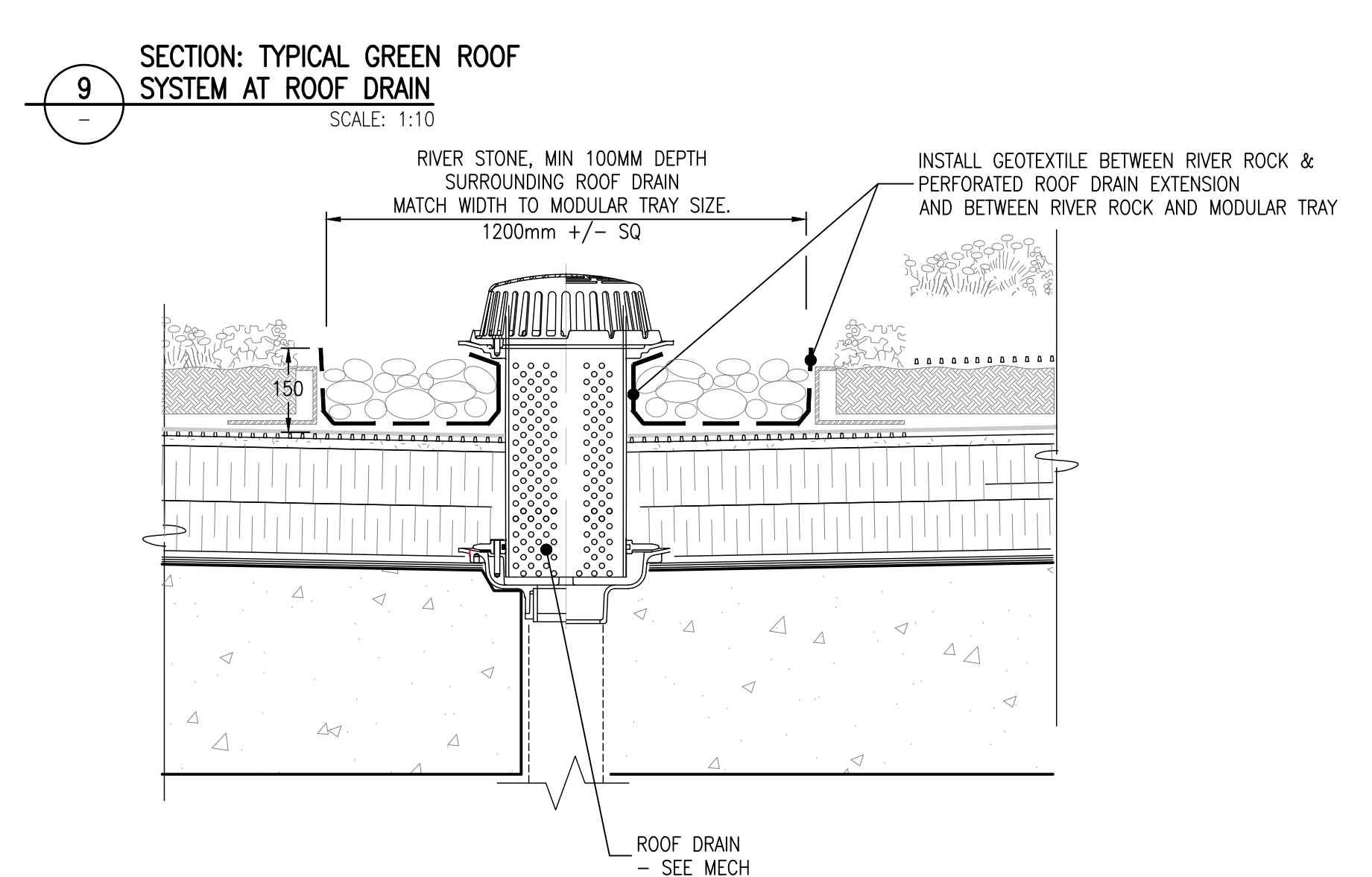
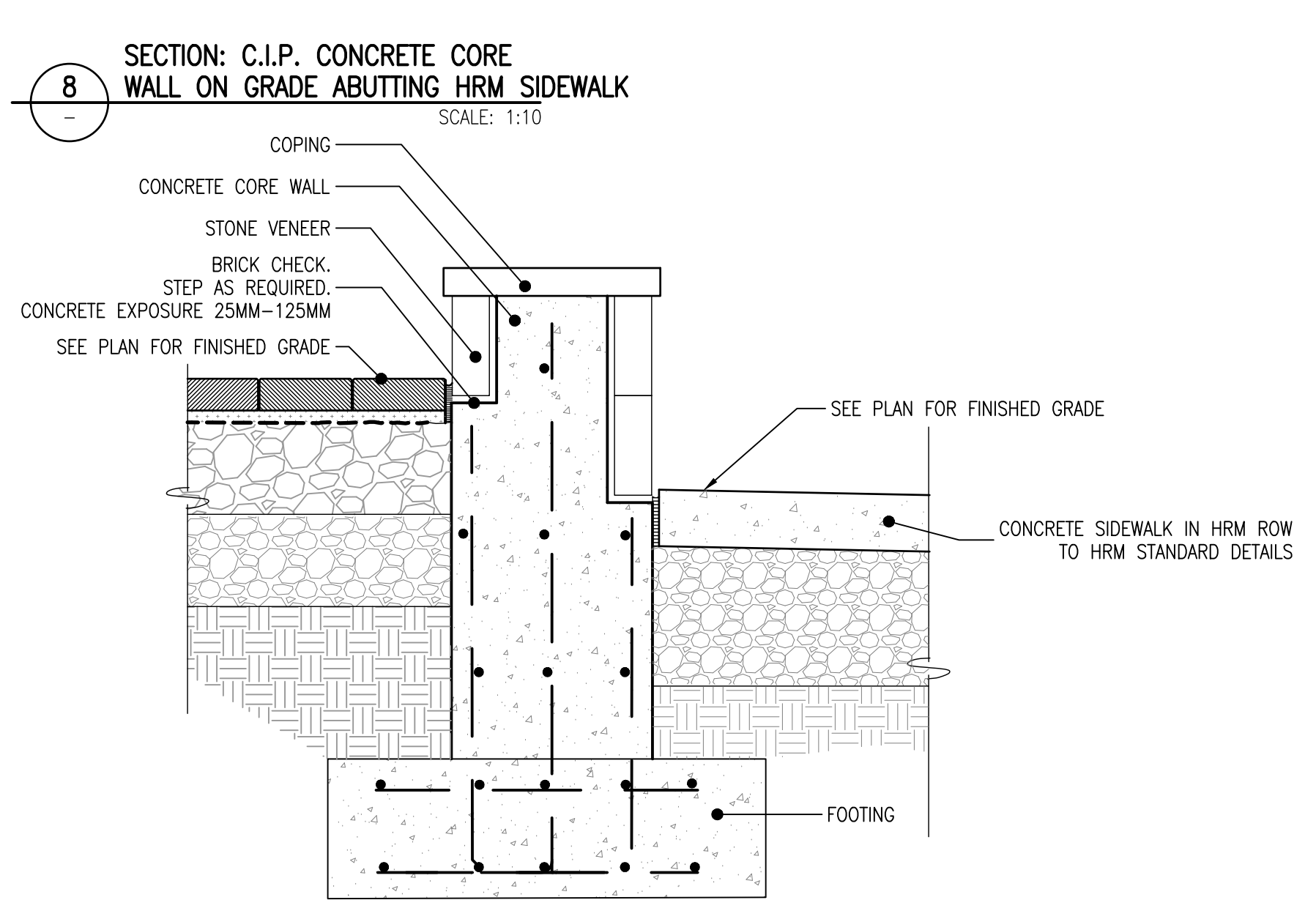
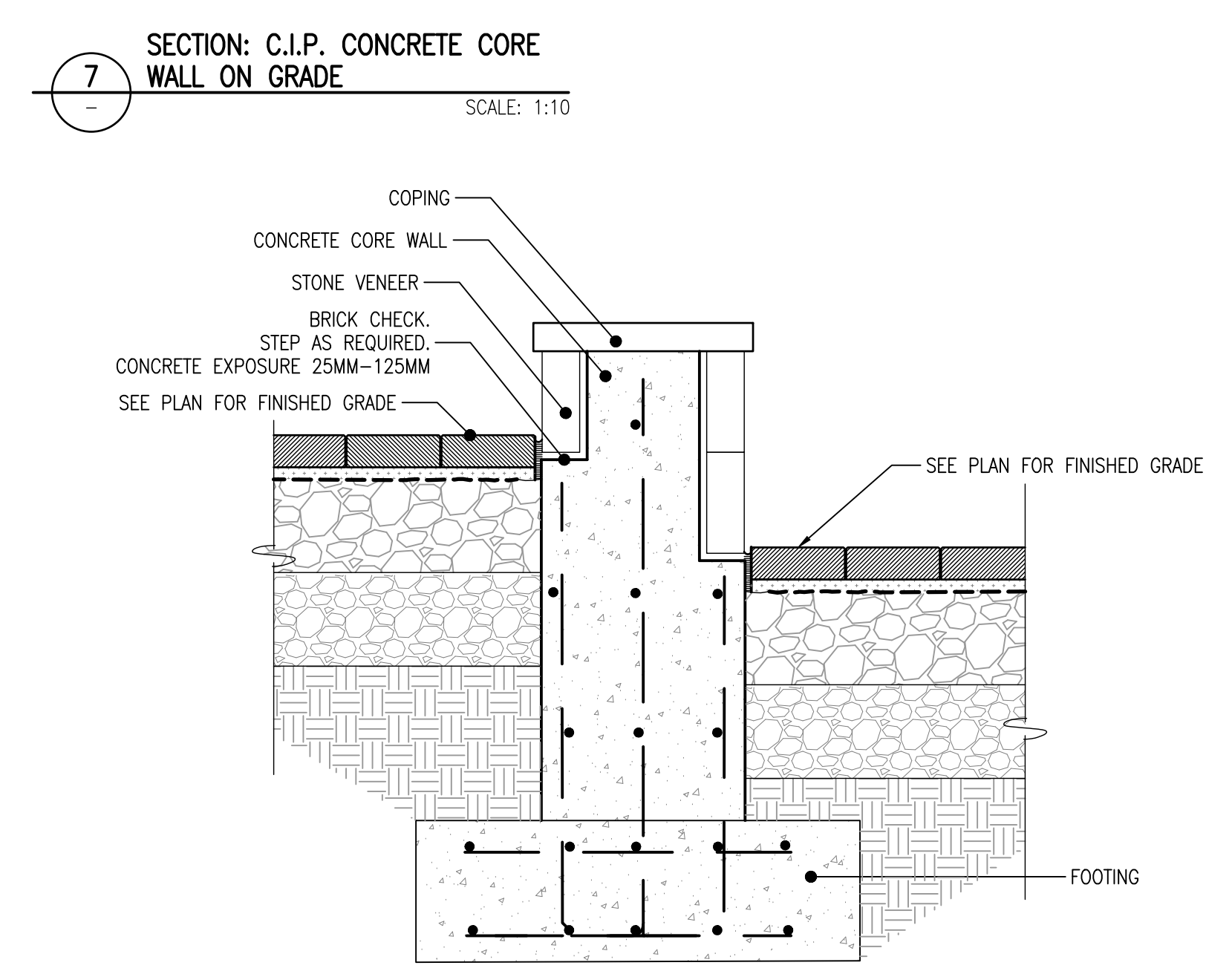
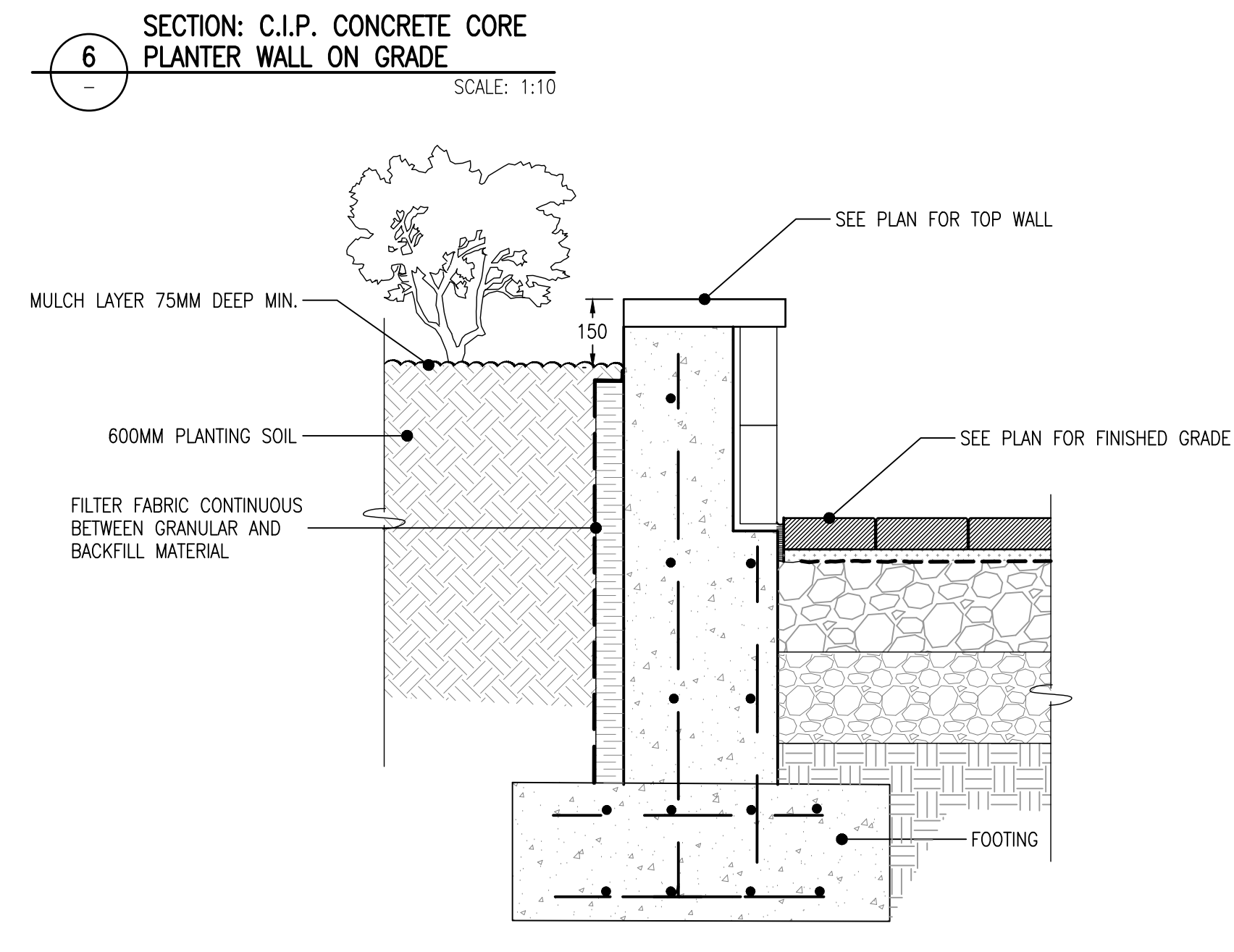
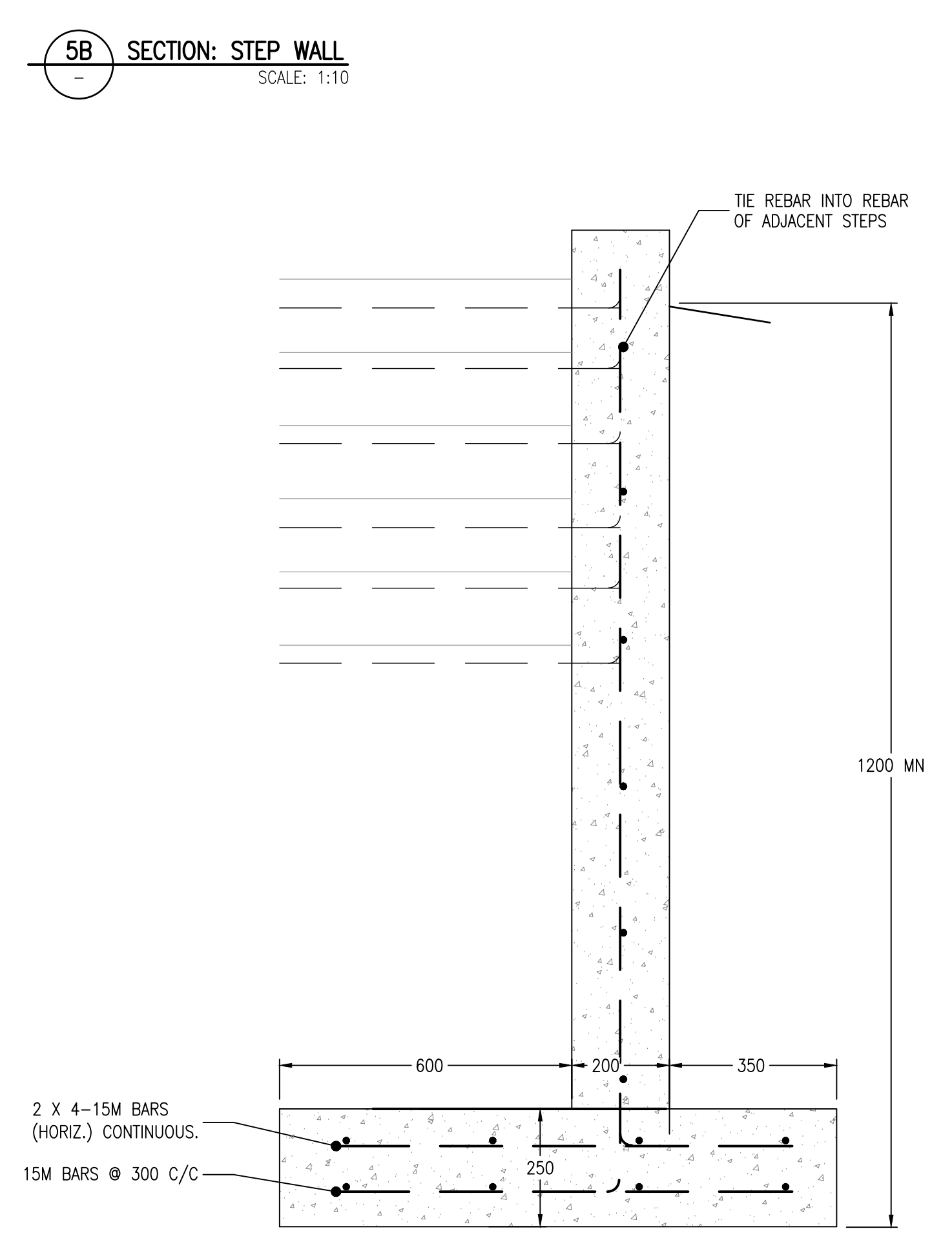
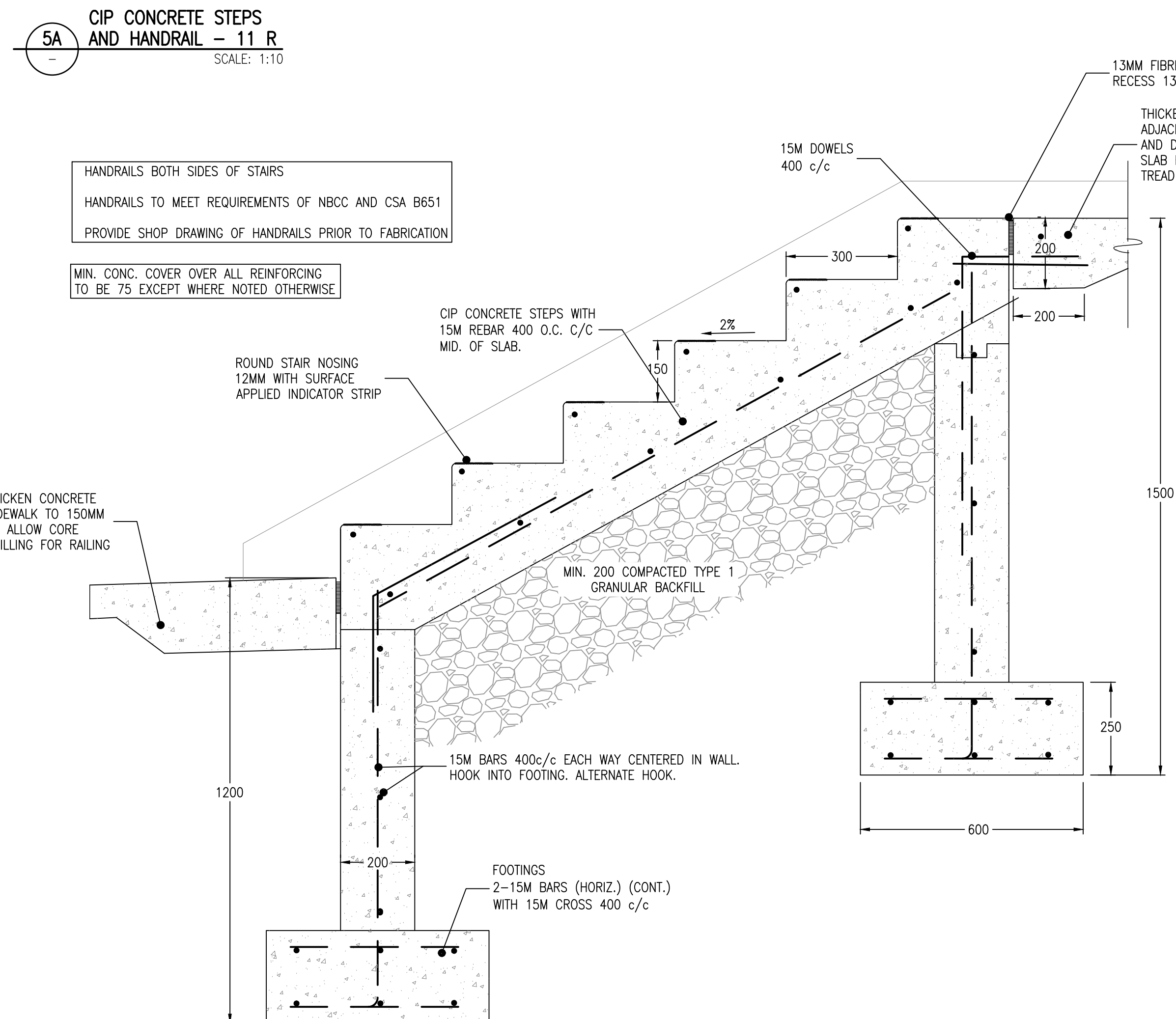
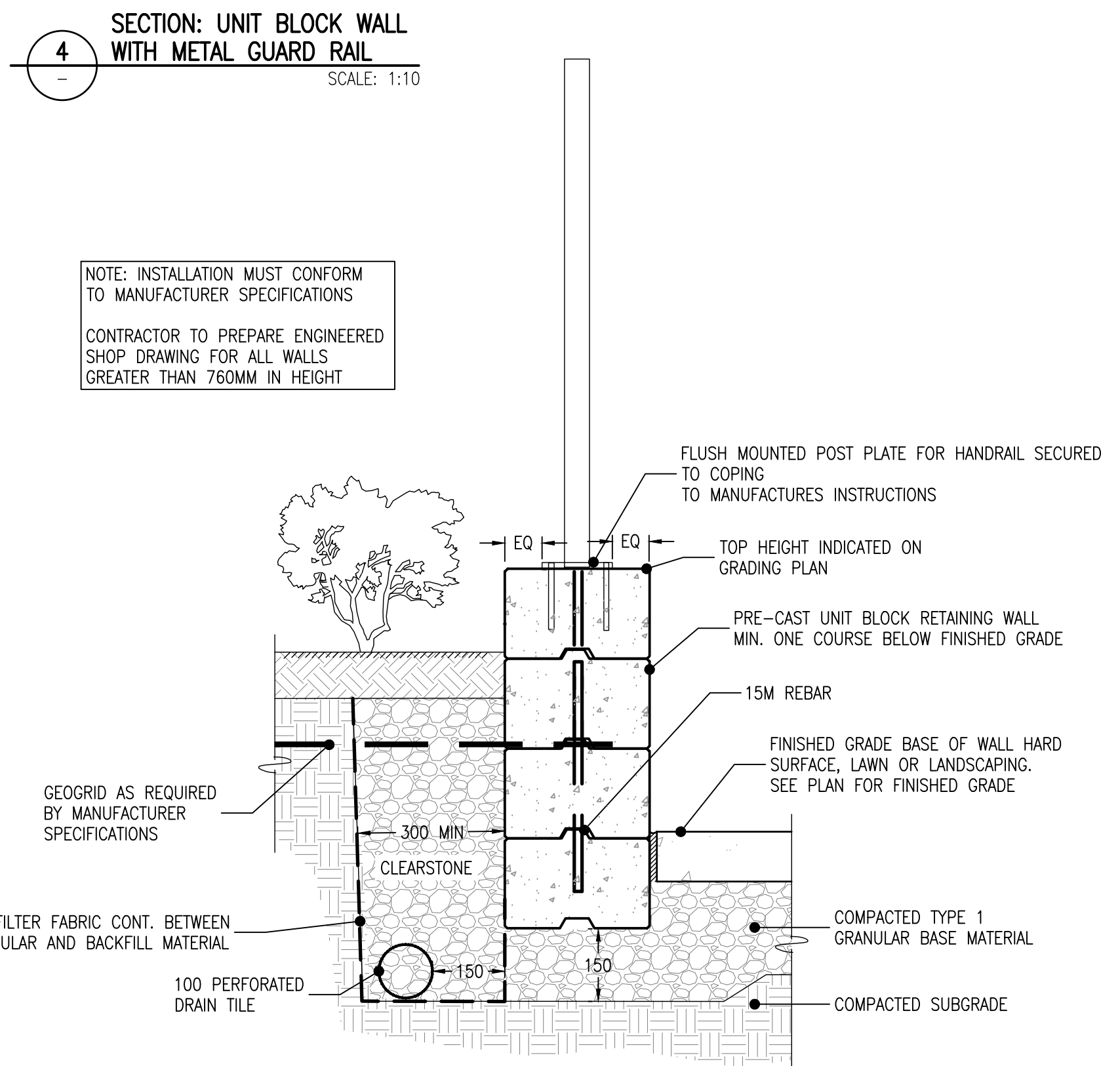
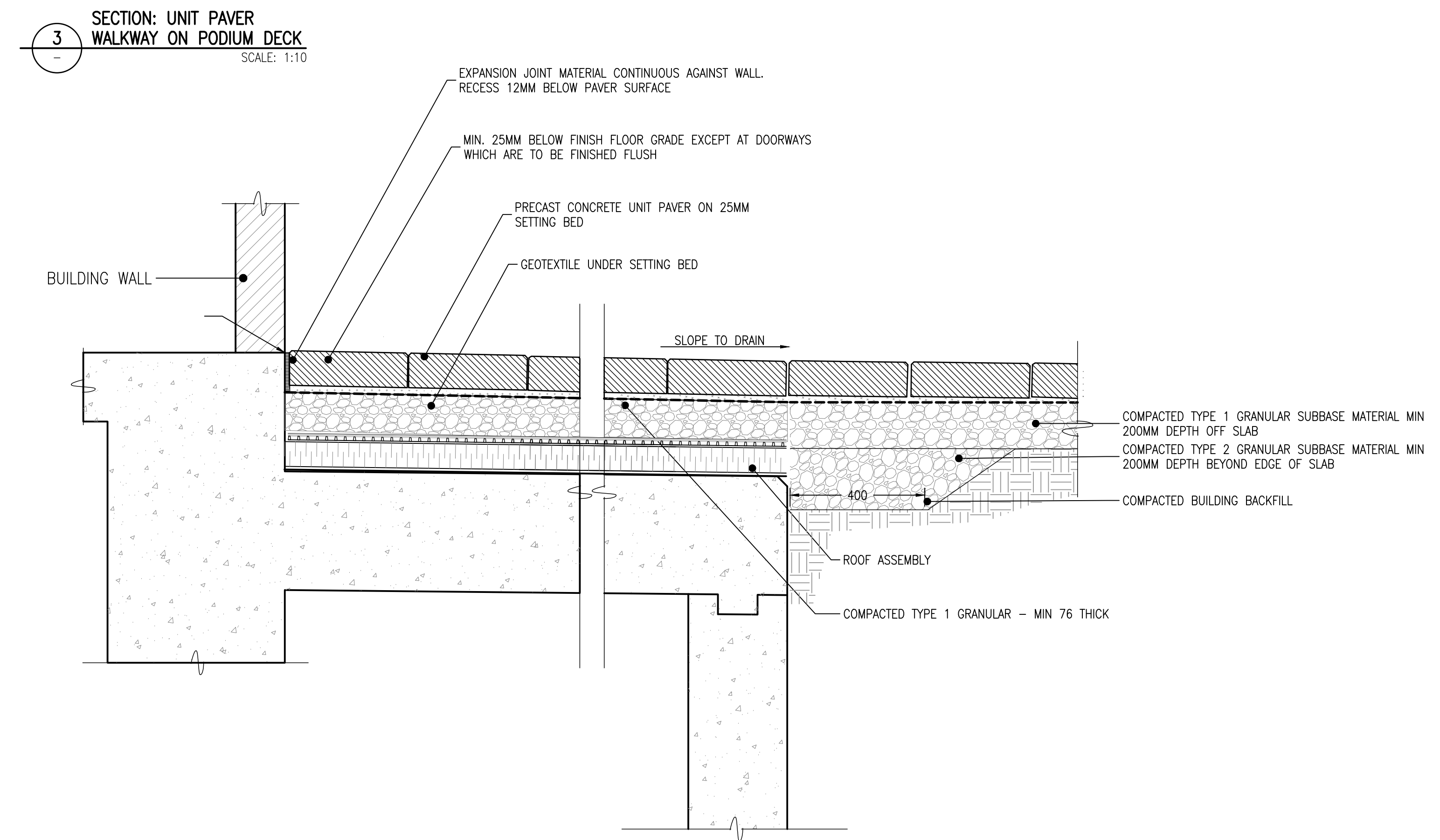
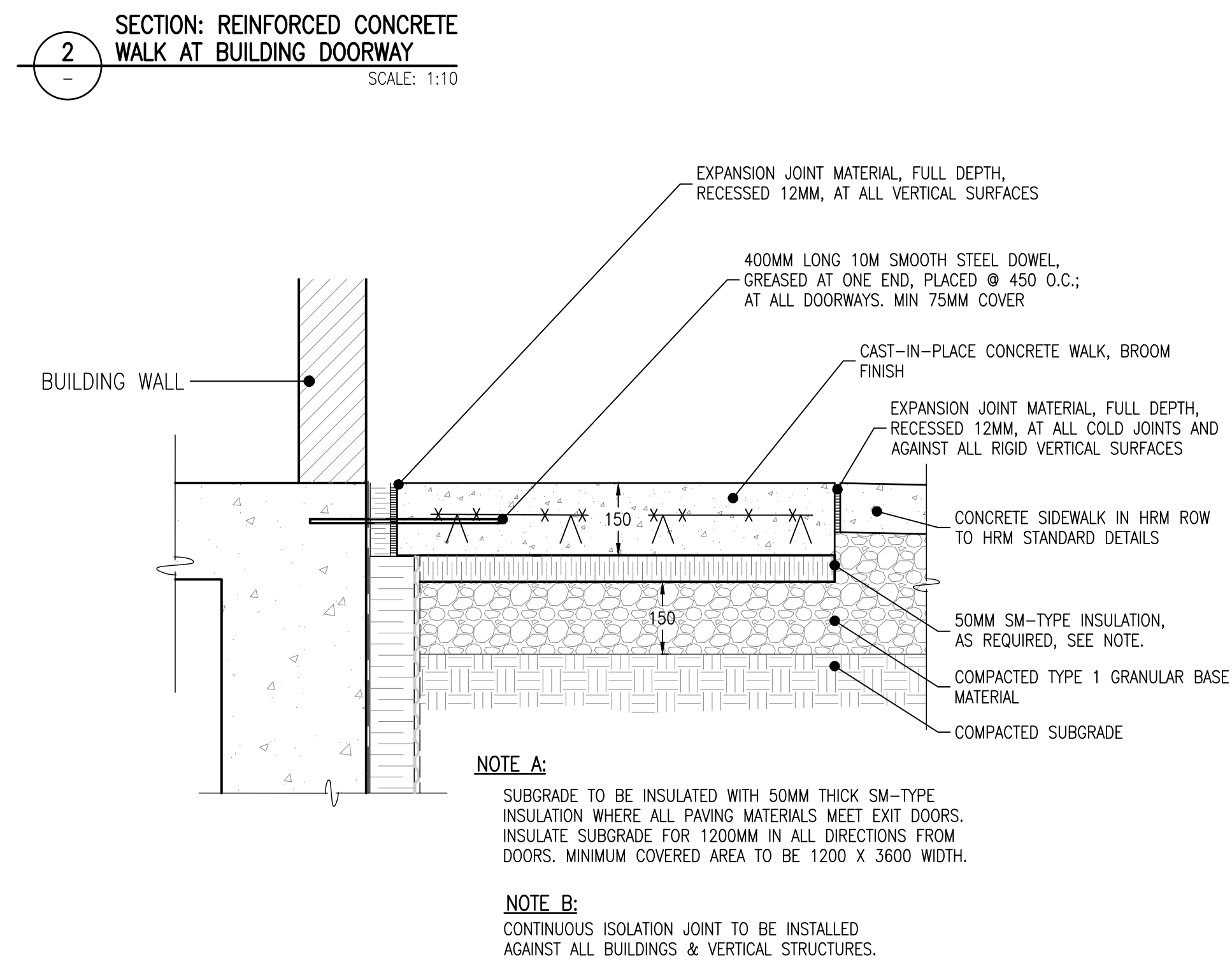
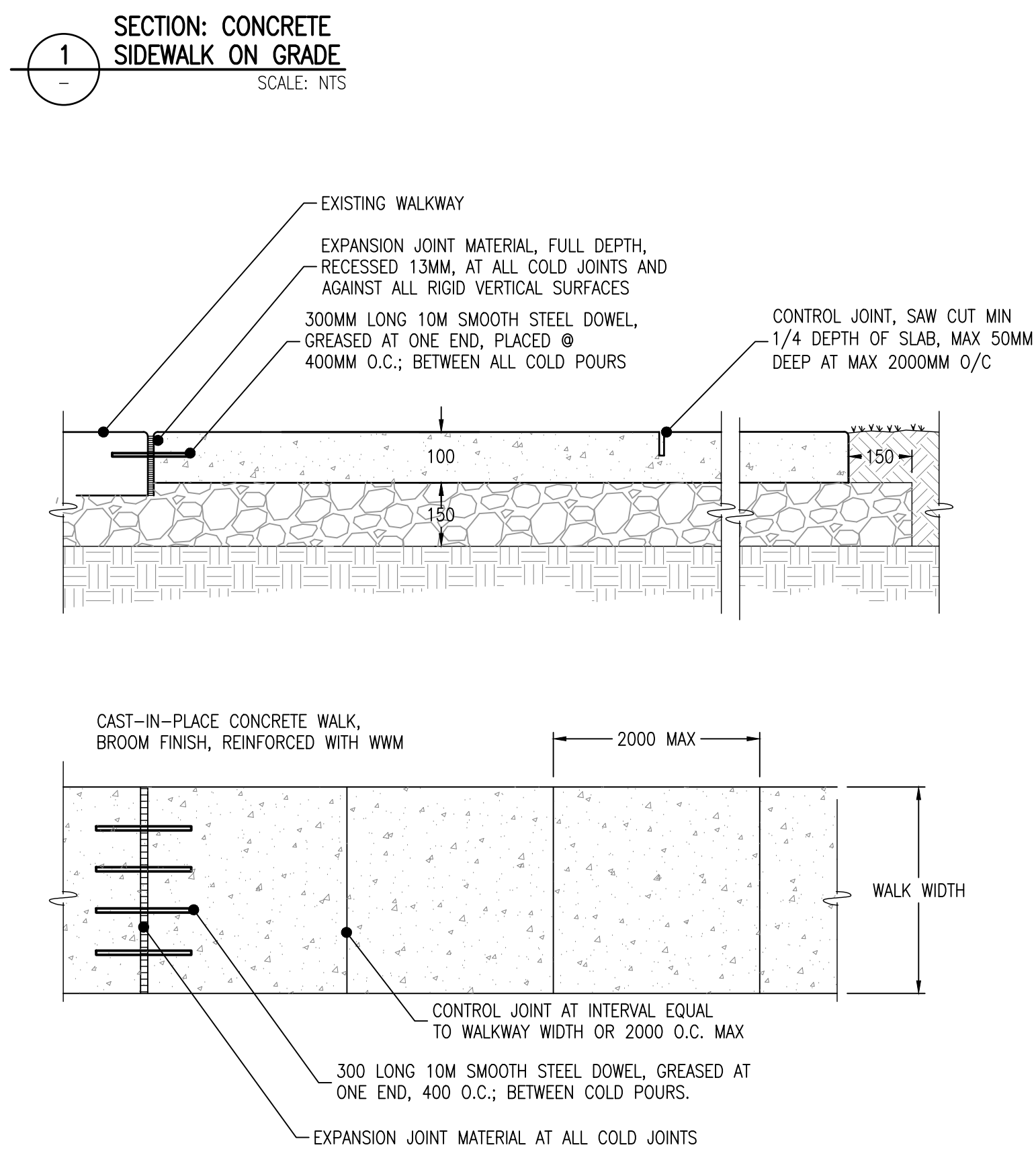
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SITEWORK - PENTHOUSE LEVEL AND ROOF LEVEL LAYOUT PLAN

**SCALE:** 1:100  
**PROJECT #:** 2022MOP  
**ISSUED DATE:** 2023-06-14

**DRAWN BY:** MB & MA  
**CHECKED BY:** CV

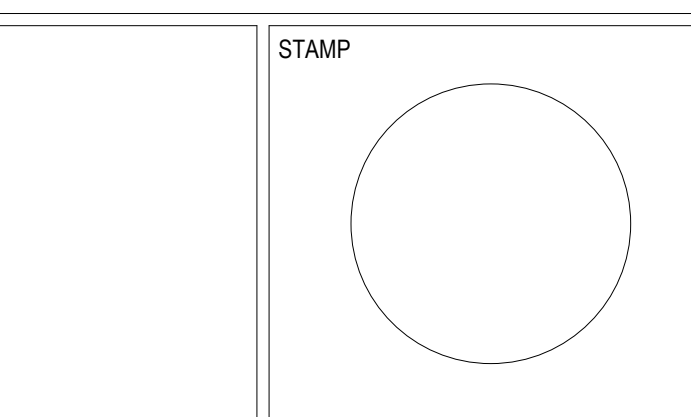
**DRAWING NUMBER**  
L2-106





2	ISSUED FOR DEVELOPMENT PERMIT	22-NOV-8
1	ISSUED FOR SITE PLAN APPROVAL	21-MAR-1
ID	REVISION	DATE
PROJECT: MOFFATT'S PHARMACY - PHASE II 184 PORTLAND STREET, DARTMOUTH NS - B2Y 1J3		
DRAWING TITLE: SITEWORK - LEVEL 1 LAYOUT PLAN		
SCALE: 1:100	DRAWN BY: MB & MM	
PROJECT #: 2022RMOF	CHECKED BY: JMC	
ISSUED DATE: 2022-MM-DD		
DRAWING NUMBER: L2-501		





CLIENT

CONSULTANTS

CONSULTANTS

PROJECT  
**MOFFATT'S DEVELOPMENT - PHASE 2**  
 PORTLAND / CANAL STREET, DARTMOUTH NS

DRAWING TITLE  
**STREETWALL COMPLIANCE ELEVATIONS**

SCALE: 1/8" = 1'-0" DRAWN BY: JDL, LMP  
 PROJECT #: 20-026 CHECKED BY: JZ  
 ISSUED DATE: 2023-07-21

DRAWING NUMBER  
**A-003**

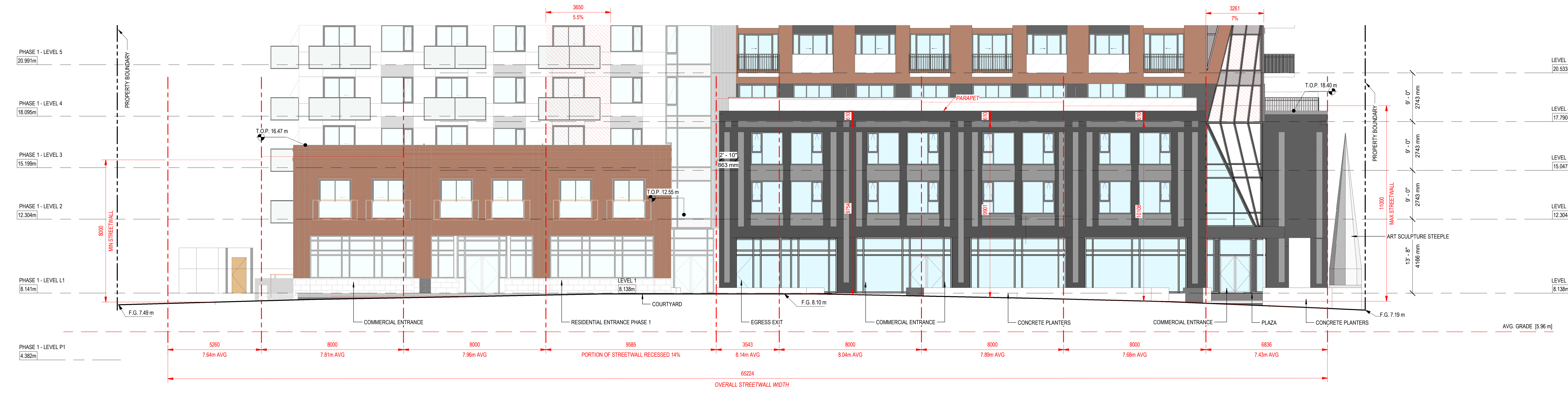
ID	REVISION	DATE
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4	RE-ISSUED FOR DEVELOPMENT PERMIT	17 MAR 2023
3	RE-ISSUED FOR DEVELOPMENT PERMIT	20 APR 2023
0	ISSUED FOR DEVELOPMENT PERMIT	15 DEC 2022

ID	REVISION	DATE
7	ISSUED FOR SPA	18 AUG 2023
4	RE-ISSUED FOR DEVELOPMENT PERMIT	17 MAR 2023
3	RE-ISSUED FOR DEVELOPMENT PERMIT	20 APR 2023
0	ISSUED FOR DEVELOPMENT PERMIT	15 DEC 2022

DRAWING NUMBER  
**A-003**

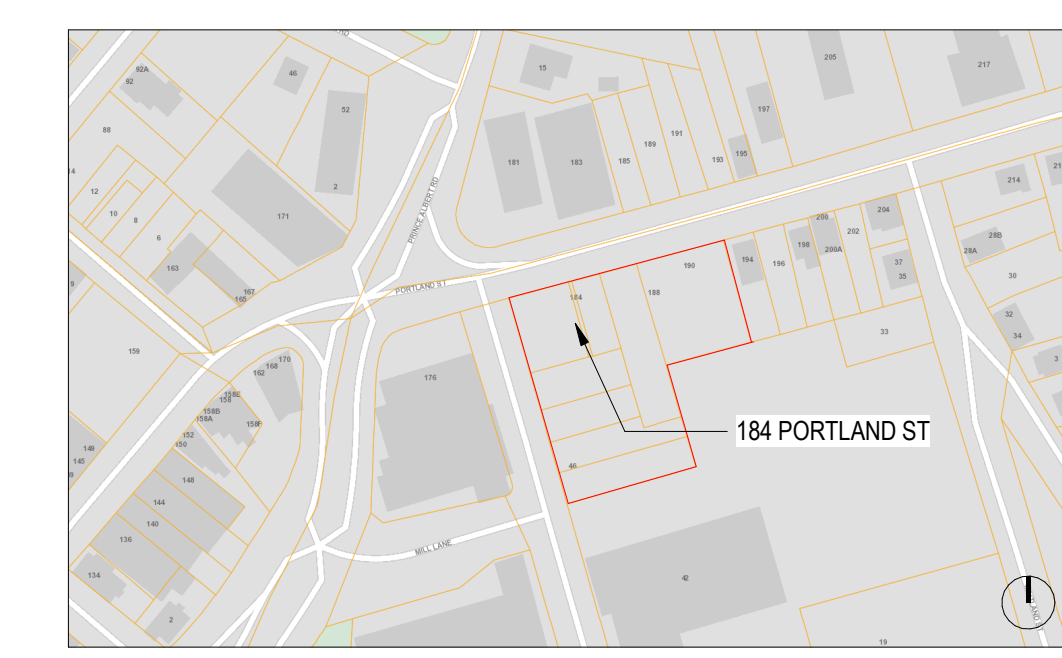


**1 WEST STREETWALL ELEVATION**  
 A-003 SCALE: 1/8" = 1'-0"



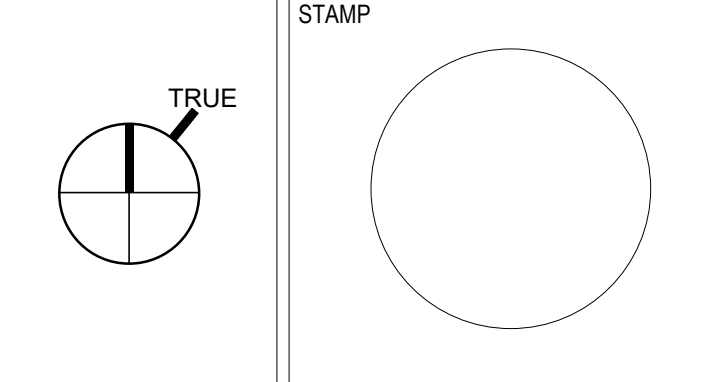
**2 NORTH STREETWALL ELEVATION**  
 A-003 SCALE: 1/8" = 1'-0"





LOCATION PLAN

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CONSULTANTS

PROJECT

MOFFATT'S DEVELOPMENT - PHASE 2

PORTLAND / CANAL STREET, DARTMOUTH NS

DRAWING TITLE

SITE PLAN, DEVELOPMENT STATISTICS

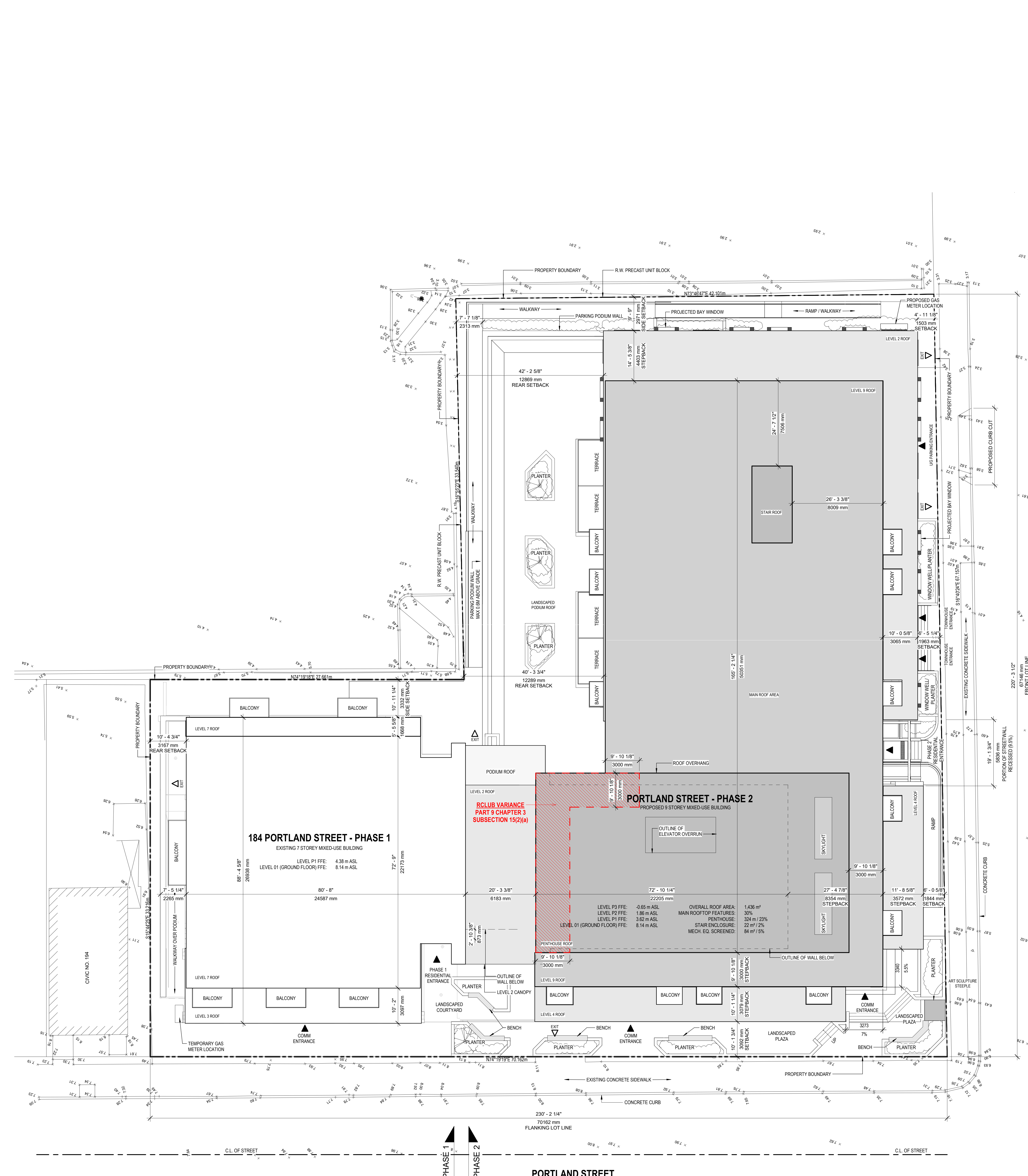
SCALE: As indicated DRAWN BY: LMP, SMB

PROJECT #: 20-026 CHECKED BY: JZ/CW

ISSUED DATE: 2023-07-21

DRAWING NUMBER

A-010



**PHASE 1 STATISTICS**

**SITE SUMMARY**

ADDRESS: 184 PORTLAND ST DARTMOUTH NS - B2Y 1J3  
 ZONING: DD  
 ZONING: DD  
 SITE AREA: 9,877 SF / 918 m<sup>2</sup>

**PROPOSED USE:** 7 STOREY MIXED-USE  
**BUILDING CLASSIFICATION:** MID-RISE

**GFA ABOVE GROUND**

RESIDENTIAL USE	35,511 SF / 3,299 m <sup>2</sup>
COMMERCIAL USE	3,193 SF / 297 m <sup>2</sup>
TOTAL	38,704 SF / 3,596 m <sup>2</sup>

**GFA BREAKDOWN (FT)**

LEVEL	RESIDENTIAL	COMMERCIAL	AMENITY	PARKING	BALCONY/TERRACE
LEVEL P1	0	587	1098	289	1294
LEVEL 1	0	1148	0	1408	0
LEVEL 2	5490	489	17	0	0
LEVEL 3	4885	955	17	0	0
LEVEL 4	4885	955	17	0	0
LEVEL 5	4885	955	17	0	0
LEVEL 6	4885	955	17	0	0
LEVEL 7	4534	955	17	0	0
TOTAL	29,982	4,700	1,897	1,897	1,294

**UNIT MIX DATA PHASE 1**

LEVEL	1 BED	1 BED-DEN	2 BED
LEVEL 1 (GROUND)	0	0	0
LEVEL 2	3	1	3
LEVEL 3	5	0	2
LEVEL 4	5	0	2
LEVEL 5	5	0	2
LEVEL 6	5	0	2
LEVEL 7	5	0	1
TOTALS	29	1	12
PERCENTAGES	39%	2%	29%
GRAND TOTAL	42		

**BARRIER FREE REQUIREMENTS**  
 1 for every 20 units shall be barrier free NSBC

**REQUIRED:** 3 UNITS  
**PROPOSED:** 3 UNITS

**UNIT MIX REQUIREMENTS**  
 Min. 25% of units must contain 2 bedrooms  
**REQUIRED:** 11 UNITS  
**PROPOSED:** 12 UNITS

**ZONING SUMMARY**

	REQUIRED	PROPOSED
MAX. BUILDING HEIGHT: (min. 20 m but not greater than 26 m)	XX m	XX m
MAX. F.A.R.	4.5	4.5
MAX. GROSS FLOOR AREA: 4,131 m <sup>2</sup>	4,131 m <sup>2</sup>	3,636 m <sup>2</sup>
MAX. BUILDING DIMENSION: 64 m	64 m	26.8 m
MIN. GROUND FLOOR HEIGHT: 3.5 m	3.5 m	4.1 m
Unless ground floor is occupied by grade related units		
GROUND FLOOR COMMENCEMENT	0.6 m	below or above streetline grade
COMMERCIAL USES	0.6 m	below or above streetline grade
GRADE RELATED UNITS	1.5 m	below or above streetline grade

**GROUND-ORIENTED PREMISES**  
 GROUND LEVEL: FACING PORTLAND ST AND CANAL ST.  
 1x entrance required for every 24 m or less

**SETBACKS & STEPBACKS**

	REQUIRED	PROPOSED
MIN. FRONT YARD SETBACK	1.5 m	1.5 m
MIN. PLANNING YARD SETBACK (PORTLAND) 3 m	3.0 m	3.0 m
MIN. REAR YARD: 3 m	3 m	12.8 m (varies)
MIN. SIDE YARD: 0 m	0 m	3.1 m
MIN. SIDE REAR YARD SETBACK: N/A	N/A	N/A

**INTERNAL LOT LINE STEPBACK**  
 Any portion of the building above 20 m requires a setback of 4.5 m from internal lot lines

**MIN. STEPBACK BETWEEN PHASE 1 & PHASE 2:** 4 m 4.6 m

**ENTRANCE SETBACKS FROM STREETLINE**

	REQUIRED	PROPOSED
PEDESTRIAN ENTRANCE: 1.5 m	1.5 m	0.8 - 8.8 m (varies)
VEHICULAR ENTRANCE: 4.5 m	4.5 m	NA

**STREETWALL SETBACKS & HEIGHTS**

	REQUIRED	PROPOSED
MIN. SETBACK: 1.5 m	1.5 m	3.1 m
MIN. STEPBACK: 3 m	3 m	3 m
MAX. HEIGHT: 11 m	11 m	11 m
MIN. HEIGHT: 8 m	8 m	> 8 m (varies)

**FEATURES EXEMPT FROM MAX HEIGHT:**

	REQUIRED	PROPOSED
ELEVATOR ENCLOSURE: 5.5 m	5.5 m	2.4 m
(30% 5.5m tall, 3m setback)		
MECHANICAL ENCLOSURE: 5.5 m	5.5 m	2.4 m
(30% 5.5m tall, 3m setback)		
STARCASE ENCLOSURE: 5.5 m	5.5 m	NA
(30% 4.5m tall, 3m setback front / flanking only)		
LANDSCAPING: 4.5 m	NA	NA
PENTHOUSE: 4.5 m	NA	NA
(including indoor amenity; 30% 4.5m tall, 3m setback)		
PARAPET: 2.0 m	0.6 m	NA
WINDSCREEN: 4.5 m	NA	NA

**VEHICULAR PARKING**

	REQUIRED	PROVIDED
REGULAR SPACES	NA	3
BARRIER FREE	3	3
TOTAL	3	6

**BICYCLE PARKING**  
 Multi-unit dwelling use for every 2 units - 21

	REQUIRED	PROVIDED
PRIVATE (CLASS A 80%)	17	17
PRIVATE (CLASS B 20%)	4	4
TOTAL	21	21

**PHASE 2 STATISTICS**

**SITE SUMMARY**

ADDRESS: 184 PORTLAND ST DARTMOUTH NS - B2Y 1J3  
 ZONING: DD  
 ZONING: DD  
 SITE AREA: 30,366 SF / 2,821 m<sup>2</sup>

**PROPOSED USE:** 9 STOREY MIXED-USE  
**BUILDING CLASSIFICATION:** TALL MID-RISE

**GFA ABOVE GROUND**

RESIDENTIAL USE	131,846 SF / 12,249 m <sup>2</sup>
COMMERCIAL USE	3,644 SF / 339 m <sup>2</sup>
TOTAL	135,490 SF / 12,587 m <sup>2</sup>

**GFA BREAKDOWN (FT)**

LEVEL	RESIDENTIAL	COMMERCIAL	AMENITY	PARKING	BALCONY/TERRACE
LEVEL P3	0	482	1889	0	2183
LEVEL P2	0	482	1889	0	2183
LEVEL P1	776	648	1467	0	2504
LEVEL 1	6099	2609	541	2457	0
LEVEL 1 (MEZZ)	9272	1589	0	0	0
LEVEL 2	13847	1540	37	0	0
LEVEL 3	12847	1235	38	0	0
LEVEL 4	12847	1235	38	0	0
LEVEL 5	12847	1235	31	0	0
LEVEL 6	12847	1235	31	0	0
LEVEL 7	12847	1235	31	0	0
LEVEL 8	12762	1420	29	0	0
LEVEL 9	0	420	62	2840	0
TOTAL	110,679	15,469	5,792	5,297	64,275

**UNIT MIX DATA PHASE 2**

LEVEL	1 BED	1 BED-DEN	2 BED	2 BED-DEN	3 BED	3 BED-DEN
LEVEL 1 (GROUND)	0	0	0	0	0	0
LEVEL 1 MEZZ	6	2	0	0	0	0
LEVEL 2	4	2	8	1	1	1
LEVEL 3	6	2	8	1	1	1
LEVEL 4	5	2	8	1	1	1
LEVEL 5	5	2	8	1	1	1
LEVEL 6	5	2	8	1	1	1
LEVEL 7	5	2	8	1	1	1
LEVEL 8	5	2	9	0	0	0
TOTALS	47	16	57	10	2	1
PERCENTAGES	35%	12%	43%	8%	2%	1%
GRAND TOTAL	133					

**BARRIER FREE REQUIREMENTS**  
 1 for every 20 units shall be barrier free NSBC

**REQUIRED:** 7 UNITS  
**PROPOSED:** 7 UNITS

**UNIT MIX REQUIREMENTS**  
 Min. 25% of units must contain 2 bedrooms  
**REQUIRED:** 33 UNITS  
**PROPOSED:** 33 UNITS

**ZONING SUMMARY**

	REQUIRED	PROPOSED
MAX. BUILDING HEIGHT: (min. 20 m but not greater than 26 m)	26 m	26 m
MAX. F.A.R.	4.5	4.5
MAX. GROSS FLOOR AREA: 12,694 m <sup>2</sup>	12,694 m <sup>2</sup>	12,675 m <sup>2</sup>
MAX. BUILDING DIMENSION: 64 m	64 m	62.7 m
MIN. GROUND FLOOR HEIGHT: 3.5 m	3.5 m	4.12 m
Unless ground floor is occupied by grade related units		
GROUND FLOOR COMMENCEMENT	0.6 m	below or above streetline grade
COMMERCIAL USES	0.6 m	below or above streetline grade
GRADE RELATED UNITS	1.5 m	below or above streetline grade

**PHASE 1&2 COMBINED STATISTICS**

**SITE SUMMARY**

ADDRESS: 184 PORTLAND ST DARTMOUTH NS - B2Y 1J3  
 ZONING: DD  
 ZONING: DD  
 SITE AREA: 40,433 SF / 3,758 m<sup>2</sup>

**PROPOSED USE:** 7-9 STOREY MIXED-USE  
**BUILDING CLASSIFICATION:** TALL MID-RISE

**GFA ABOVE GROUND**

RESIDENTIAL USE	168,764 SF / 15,677 m <sup>2</sup>
COMMERCIAL USE	5,911 SF / 535 m <sup>2</sup>
TOTAL	174,675 SF / 16,214 m <sup>2</sup>

**GFA BREAKDOWN (FT)**

LEVEL	PHASE 1	PHASE 2	RESIDENTIAL	COMMERCIAL	AMENITY	PARKING	BALCONY/TERRACE
LEVEL P3	0	0	482	1889	0	2183	0
LEVEL P2	0	0	482	1889	0	2183	0
LEVEL P1	0	0	609	2609	289	2064	0
LEVEL 1	0	0	1148	0	0	0	0
LEVEL 1 (MEZZ)	0	0	1194	2005	141	1457	0
LEVEL 2	5490	489	17	0	0	0	0
LEVEL 3	4885	955	17	0	0	0	0
LEVEL 4	4885	955	17	0	0	0	0
LEVEL 5	4885	955	17	0	0	0	0
LEVEL 6	4885	955	17	0	0	0	0
LEVEL 7	4534	955	17	0	0	0	0
LEVEL 8	4534	955	17	0	0	0	0
LEVEL 9	0	0	420	62	2840	0	0
TOTAL	141,648	20,217	6,899	5,586	65,590	6,837	13,954

**UNIT MIX DATA PHASE 1 & PHASE 2**

LEVEL	1 BED	1 BED-DEN	2 BED	2 BED-DEN	3 BED	3 BED-DEN
LEVEL 1 (GROUND)	0	0	0	0	0	0
LEVEL 1 MEZZ	6	2	0	0	0	0
LEVEL 2	4	2	8	1	1	1
LEVEL 3	6	2	8	1	1	1
LEVEL 4	5	2	8	1	1	1
LEVEL 5	5	2	8	1	1	1
LEVEL 6	5	2	8	1	1	1
LEVEL 7	5	2	8	1	1	1
LEVEL 8	5	2	9	0	0	0
TOTALS	78	17	69	10	2	1
PERCENTAGES	43%	10%	39%	6%	1%	0.5%
GRAND TOTAL	175					

**BARRIER FREE REQUIREMENTS**  
 1 for every 20 units shall be barrier free NSBC

**REQUIRED:** 9 UNITS  
**PROPOSED:** 10 UNITS

**UNIT MIX REQUIREMENTS**  
 Min. 25% of units must contain 2 bedrooms  
**REQUIRED:** 44 UNITS  
**PROPOSED:** 68 UNITS

**ZONING SUMMARY**

	REQUIRED	PROPOSED
MAX. BUILDING HEIGHT: (min. 20 m but not greater than 26 m)	26 m	26 m
MAX. F.A.R.	4.5	4.5
MAX. GROSS FLOOR AREA: 12,694 m <sup>2</sup>	12,694 m <sup>2</sup>	12,675 m <sup>2</sup>
MAX. BUILDING DIMENSION: 64 m	64 m	62.7 m
MIN. GROUND FLOOR HEIGHT: 3.5 m	3.5 m	4.12 m
Unless ground floor is occupied by grade related units		
GROUND FLOOR COMMENCEMENT	0.6 m	below or above streetline grade
COMMERCIAL USES	0.6 m	below or above streetline grade
GRADE RELATED UNITS	1.5 m	below or above streetline grade

**GROUND-ORIENTED PREMISES**  
 GROUND LEVEL: FACING PORTLAND ST AND CANAL ST.  
 1x entrance required for every 24 m or less

**SETBACKS & STEPBACKS**

	REQUIRED	PROPOSED
MIN. FRONT YARD SETBACK (CANAL) 1.5 m	1.5 m	1.5 m
MIN. PLANNING YARD SETBACK (PORTLAND) 3 m	3.0 m	3.0 m
MIN. REAR YARD: 3 m	3 m	12.8 m (varies)
MIN. SIDE YARD: 0 m	0 m	2.9 m (varies)
MIN. SIDE REAR YARD SETBACK: N/A	N/A	N/A

**INTERNAL LOT LINE STEPBACK**  
 Any portion of the building above 20 m requires a setback of 4.5 m from internal lot lines

**MIN. STEPBACK BETWEEN PHASE 1 & PHASE 2:** 4 m 4.6 m

**ENTRANCE SETBACKS FROM STREETLINE**

	REQUIRED	PROPOSED
PEDESTRIAN ENTRANCE: 1.5 m	1.5 m	2.9 m - 6.5 m (varies)
VEHICULAR ENTRANCE: 4.5 m	4.5 m	4.5 m

**STREETWALL SETBACKS & HEIGHTS**

	REQUIRED	PROPOSED
MIN. SETBACK: 1.5 m	1.5 m	1.5 m (varies)
MIN. STEPBACK: 3 m	3 m	3 m (varies)
MAX. HEIGHT: 11 m	11 m	11 m (varies)
MIN. HEIGHT: 8 m	8 m	> 8 m (varies)

**FEATURES EXEMPT FROM MAX HEIGHT:**

	REQUIRED	PROPOSED
ELEVATOR ENCLOSURE: 5.5 m	5.5 m	XX m
(30% 5.5m tall, 3m setback)		
STARCASE ENCLOSURE: 5.5 m	5.5 m	3.4 m
(30% 4.5m tall, 3m setback front / flanking only)		
LANDSCAPING: 4.5 m	NA	NA
PENTHOUSE: 4.5 m	NA	NA
(including indoor amenity; 30% 4.5m tall, 3m setback)		
PARAPET: 2.0 m	1 m	NA
WINDSCREEN: 4.5 m	XX m	NA

**VEHICULAR PARKING**

	REQUIRED	PROPOSED
REGULAR SPACES	NA	138
BARRIER FREE	9	10
TOTAL	9	148

**BICYCLE PARKING**  
 Multi-unit dwelling use for every 2 units - 88

	REQUIRED	PROPOSED
PRIVATE (CLASS A 80%)	70	71
PRIVATE (CLASS B 20%)	18	16
TOTAL	88	88

**AMENITY AREAS**

	REQUIRED	PROPOSED



STATISTICS - LEVEL P3	
PARKING FLOOR AREA	21,845 SF
SERVICE AREA	534 SF
STORAGE	1,289 SF
SHAFTS/ ELEVATOR	155 SF
STAIRCASES	145 SF
<b>PARKING TOTALS</b>	<b>23,968 SF</b>
2.4m x 5.5m	13
2.4m x 7.0m (BF)	40
TOTAL	53
<b>BIKE PARKING STALLS</b>	<b>0</b>
0.6m x 1.8m (HORZ.)	0

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NO.	REVISION	DATE
7	ISSUED FOR SPA	18 AUG 2023
4	RE-ISSUED FOR DEVELOPMENT PERMIT	17 MAR 2023
3	RE-ISSUED FOR DEVELOPMENT PERMIT	30 APR 2023
0	ISSUED FOR DEVELOPMENT PERMIT	15 DEC 2022

PROJECT

**MOFFATT'S DEVELOPMENT - PHASE 2**

PORTLAND / CANAL STREET, DARTMOUTH NS

DRAWING TITLE

**FLOOR PLAN - P3 PARKING**

SCALE: 1/8" = 1'-0"

DRAWN BY: LMP

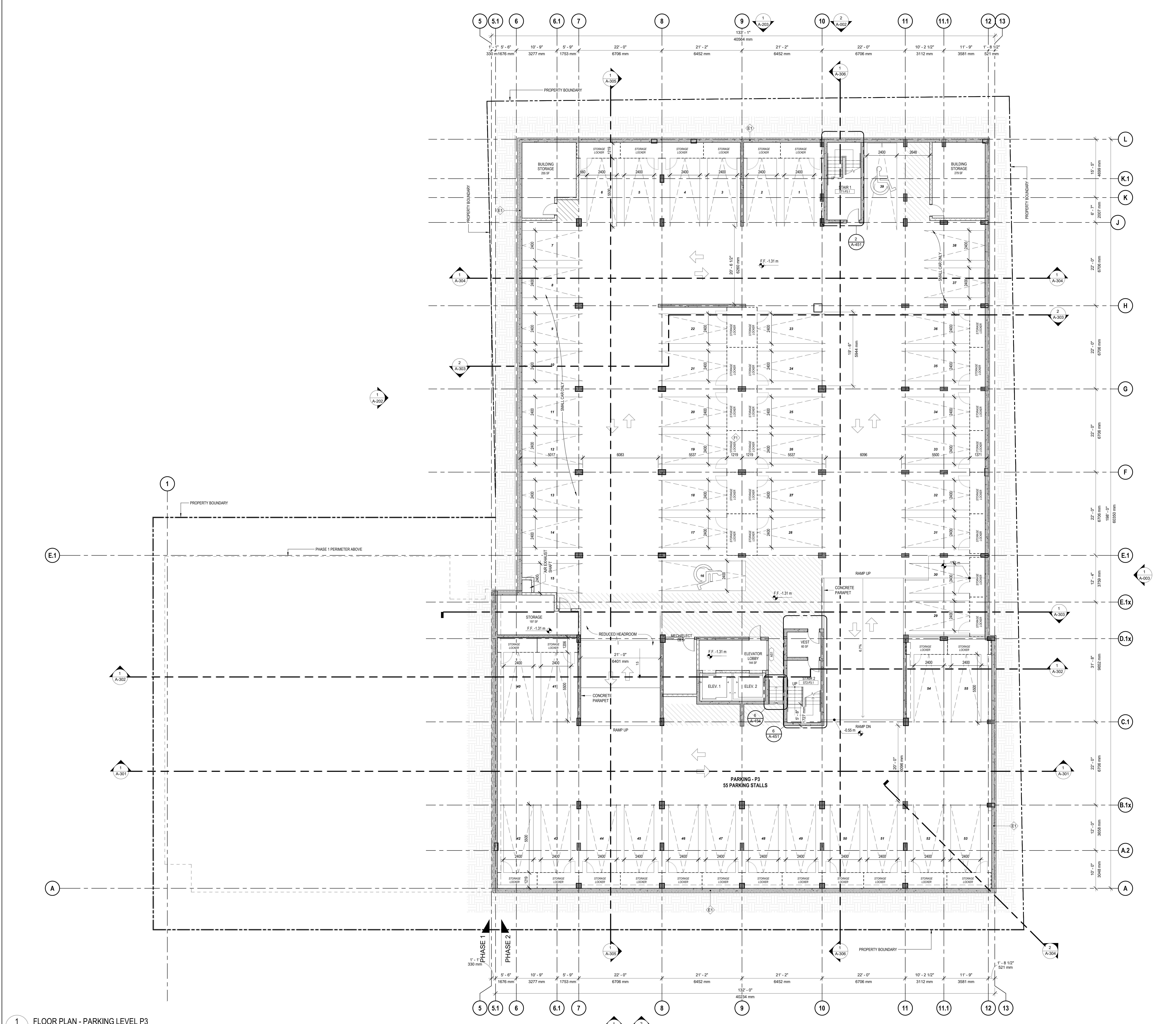
PROJECT #: 20-026

CHECKED BY: JZ

ISSUED DATE: 2023-07-21

DRAWING NUMBER

**A-101**



**1 FLOOR PLAN - PARKING LEVEL P3**

A-101 SCALE: 1/8" = 1'-0"

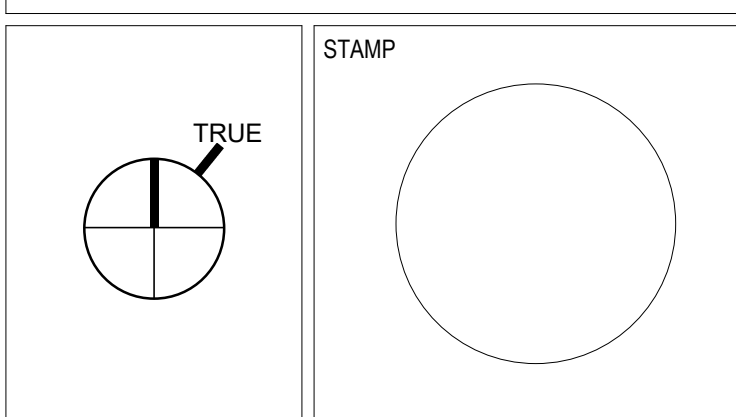


STATISTICS - LEVEL P2	
PARKING FLOOR AREA	20,851 SF
SERVICE AREA	938 SF
STORAGE	930 SF
SHAFTS/ELEVATOR	115 SF
STAIRCASES	145 SF
<b>PARKING TOTALS</b>	<b>22,979 SF</b>
2.4m x 4.8m	12
2.4m x 5.5m	37
2.4m x 7.0m (BF)	3
<b>TOTAL</b>	<b>52</b>
<b>BIKE PARKING STALLS</b>	<b>0</b>
0.6m x 1.5m (HCR2)	



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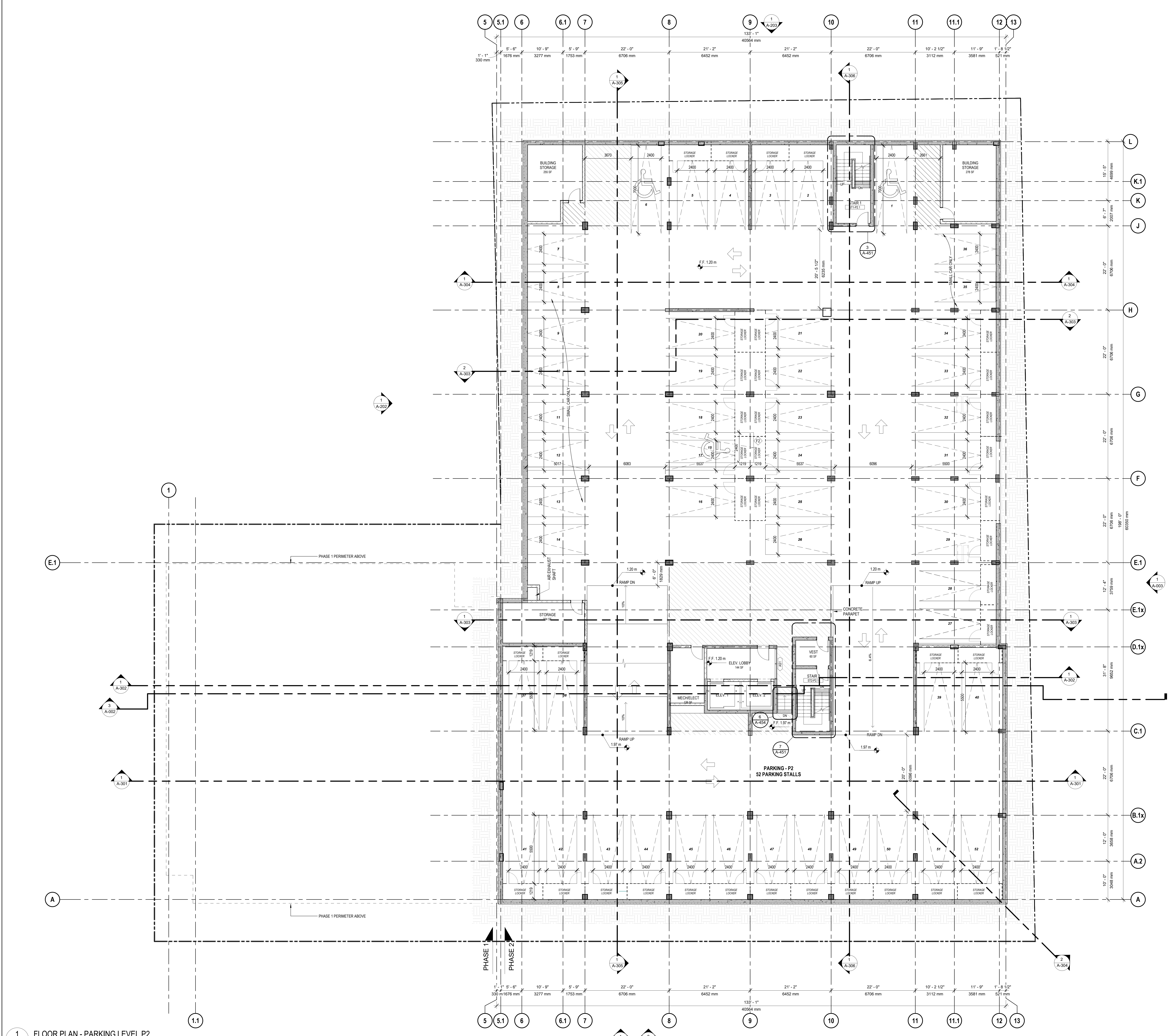
PROJECT  
 MOFFATT'S DEVELOPMENT - PHASE 2  
 PORTLAND / CANAL STREET, DARTMOUTH NS

DRAWING TITLE  
 FLOOR PLAN - P2 PARKING

SCALE: 1/8" = 1'-0" DRAWN BY: LMP  
 PROJECT #: 20-026 CHECKED BY: JZ  
 ISSUED DATE: 2023-07-21

ID	REVISION	DATE
7	ISSUED FOR SPA	18 AUG 2023
4	RE-ISSUED FOR DEVELOPMENT PERMIT	17 MAY 2023
3	RE-ISSUED FOR DEVELOPMENT PERMIT	20 APR 2023
1	ISSUED FOR LAYOUT REVIEW	2 APR 2023
0	ISSUED FOR DEVELOPMENT PERMIT	15 DEC 2022

DRAWING NUMBER  
**A-102**



1 FLOOR PLAN - PARKING LEVEL P2  
 A-102 SCALE: 1/8" = 1'-0"



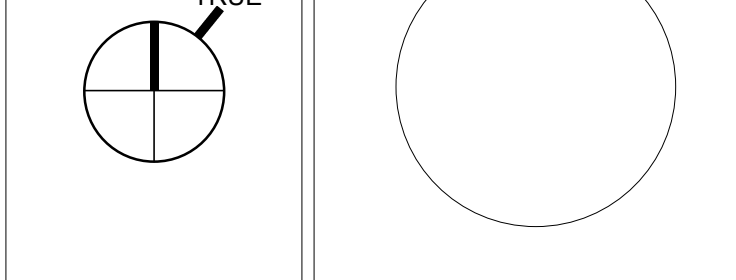




STATISTICS - LEVEL 1	
FLOOR AREA	3,699 SF
COMMERCIAL	1,126 SF
RESIDENTIAL	2,326 SF
AMENITY AREA	238 SF
SERVICE AREA	387 SF
AMENITY CALCULATIONS	
SALONES	3,574 SF
TERRACES	1,050 SF
COURTYARD	915 SF
PLAZA	1,377 SF
UNIT TOTALS	
1 BEDROOM	6
2 BED - DEN	1
2 BEDROOM	3
3 BEDROOM	1
3 BEDROOM - DEN	1
TOTAL	13



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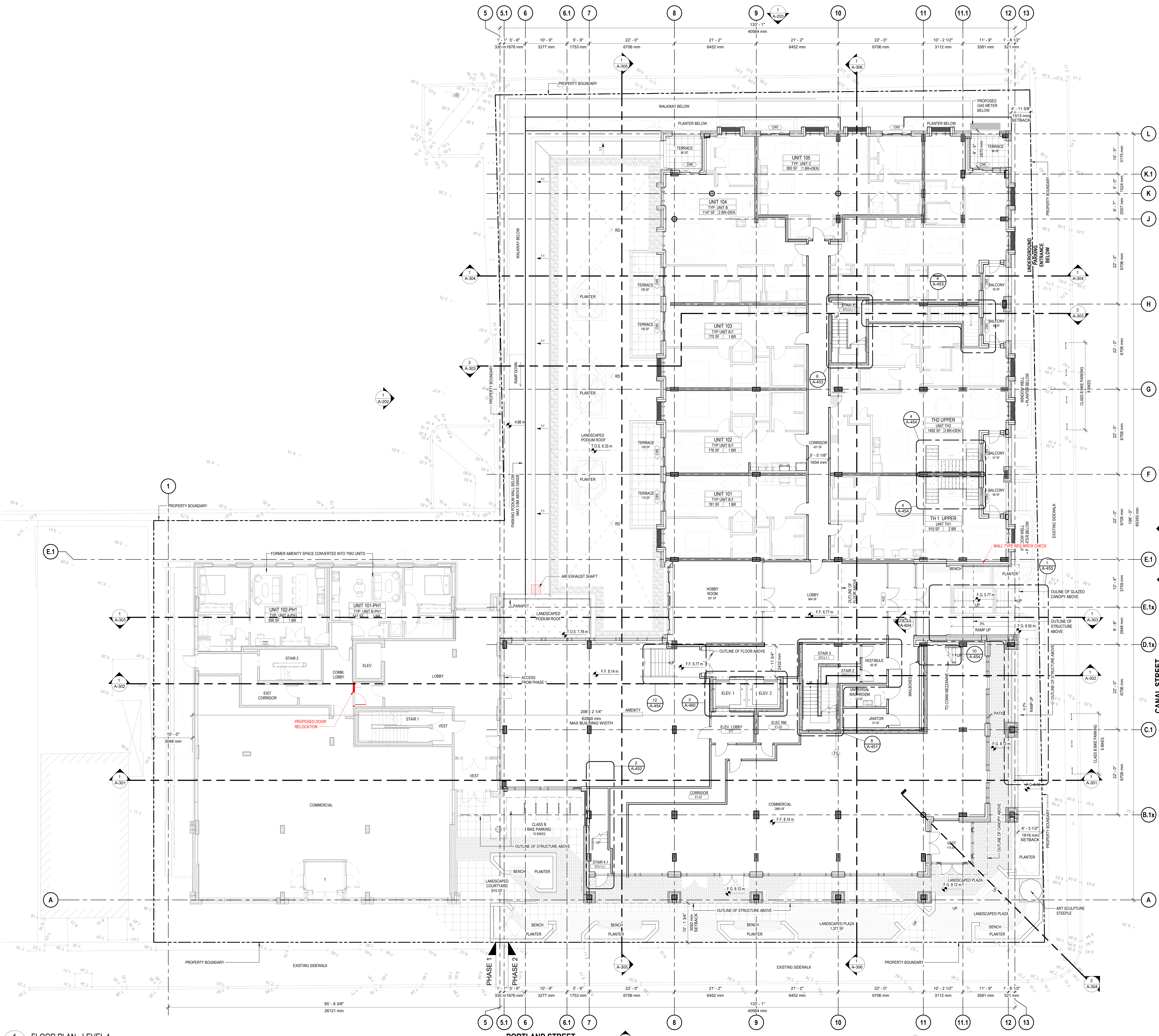


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1 FLOOR PLAN - LEVEL 1  
A-104 SCALE: 1/8" = 1'-0"

NO.	REVISION	DATE
7	ISSUED FOR SPA	18 AUG 2023
4	RE-ISSUED FOR DEVELOPMENT PERMIT	17 MAY 2023
2	RE-ISSUED FOR UNIT LAYOUT REVIEW	20 APR 2023
1	ISSUED FOR UNIT LAYOUT REVIEW	2 APR 2023
0	ISSUED FOR DEVELOPMENT PERMIT	15 DEC 2022

PROJECT  
**MOFFATT'S DEVELOPMENT - PHASE 2**  
PORTLAND / CANAL STREET, DARTMOUTH NS

DRAWING TITLE  
**FLOOR PLAN - LEVEL 1**

SCALE: 1/8" = 1'-0"	DRAWN BY: LMP
PROJECT #: 20-026	CHECKED BY: JZ
ISSUED DATE: 2023-07-21	

DRAWING NUMBER  
**A-104**



STATISTICS - LEVEL 1 MEZZ	
FLOOR AREA	314 sq'
COMMERCIAL	10,161 sq'
RESIDENTIAL	121 sq'
AMENITY AREA	
SERVICE AREA	
AMENITY CALCULATIONS	
BALCONIES	839 sq'
TERRACES	435 sq'
COURTYARD	291 sq'
PLAZA	115 sq'
UNIT TOTALS	
1 BEDROOM	6
1 BED + DEN	2
2 BEDROOM	2
3 BEDROOM	1
3 BEDROOM + DEN	10
TOTAL	10

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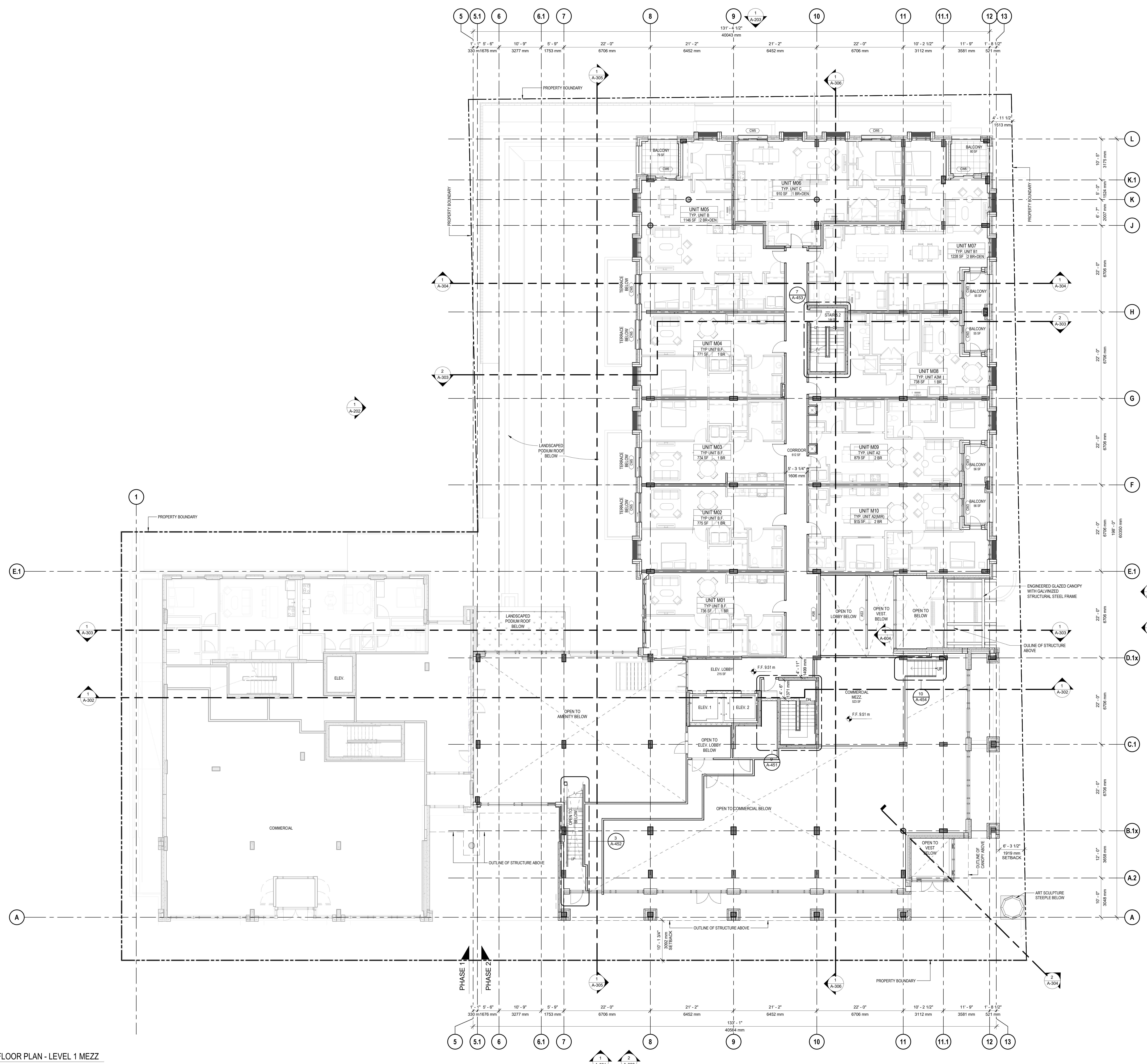
NO.	REVISION	DATE
7	ISSUED FOR SPA	18 AUG 2023
4	RE-ISSUED FOR DEVELOPMENT PERMIT	17 MAY 2023
2	RE-ISSUED FOR UNIT LAYOUT REVIEW	20 APR 2023
1	ISSUED FOR UNIT LAYOUT REVIEW	2 APR 2023
0	ISSUED FOR DEVELOPMENT PERMIT	15 DEC 2022
ID	REVISION	DATE

PROJECT  
**MOFFATT'S DEVELOPMENT - PHASE 2**  
 PORTLAND / CANAL STREET, DARTMOUTH NS

DRAWING TITLE  
**FLOOR PLAN - LEVEL 1 MEZZANINE**

SCALE: 1/8" = 1'-0"  
 DRAWN BY: LMP  
 PROJECT #: 20-026  
 CHECKED BY: JZ  
 ISSUED DATE: 2023-07-21

DRAWING NUMBER  
**A-105**



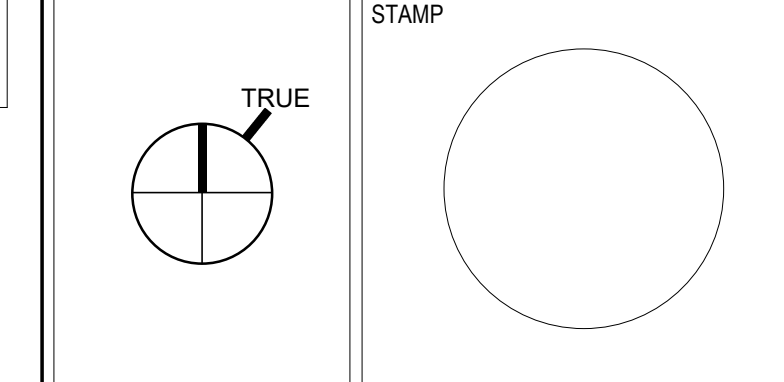
1 FLOOR PLAN - LEVEL 1 MEZZ  
 A-105 SCALE: 1/8" = 1'-0"



STATISTICS - LEVEL 2	
FLOOR AREA	13,435 SF
COMMERCIAL	411 SF
RESIDENTIAL	
AMENITY AREA	
SERVICE AREA	
AMENITY CALCULATIONS	2,096 SF
SALONNES	
TERRACES	
COURTYARD	
PLAZA	
UNIT TOTALS	
1 BEDROOM	4
1 BED - DEN	2
2 BEDROOM	6
2 BED - DEN	1
3 BEDROOM	1
3 BEDROOM - DEN	
TOTAL	16

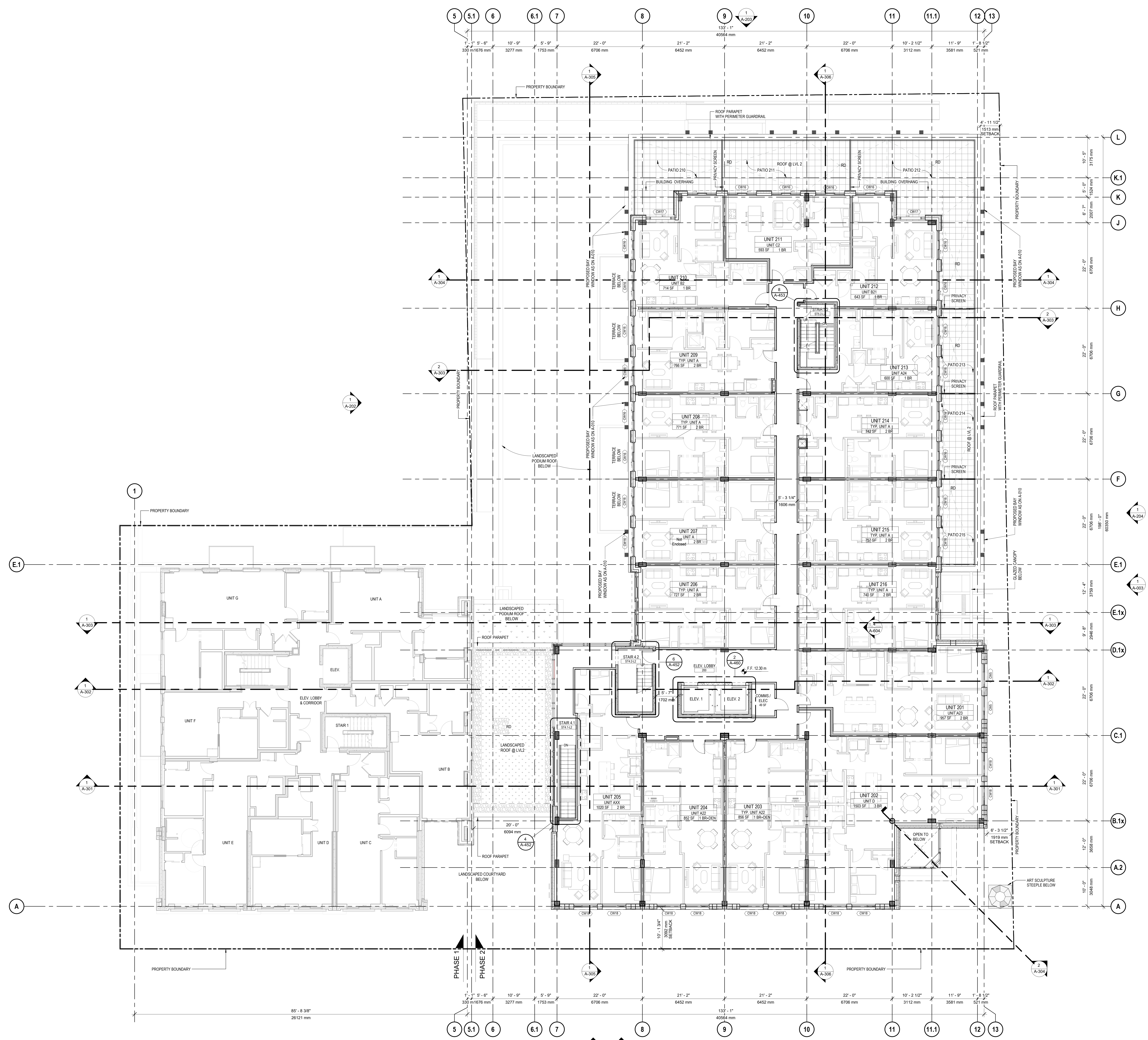


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1 FLOOR PLAN - LEVEL 2  
SCALE: 1/8" = 1'-0"

NO.	REVISION	DATE
7	ISSUED FOR SPA	18 AUG 2023
4	RE-ISSUED FOR DEVELOPMENT PERMIT	17 MAY 2023
2	RE-ISSUED FOR UNIT LAYOUT REVIEW	20 APR 2023
1	ISSUED FOR UNIT LAYOUT REVIEW	2 APR 2023
0	ISSUED FOR DEVELOPMENT PERMIT	15 DEC 2022

PROJECT  
MOFFATT'S DEVELOPMENT - PHASE 2  
PORTLAND / CANAL STREET, DARTMOUTH NS

DRAWING TITLE  
FLOOR PLAN - LEVEL 2

SCALE: 1/8" = 1'-0"	DRAWN BY: LMP
PROJECT #: 20-026	CHECKED BY: JZ
ISSUED DATE: 2023-07-21	

DRAWING NUMBER  
**A-106**



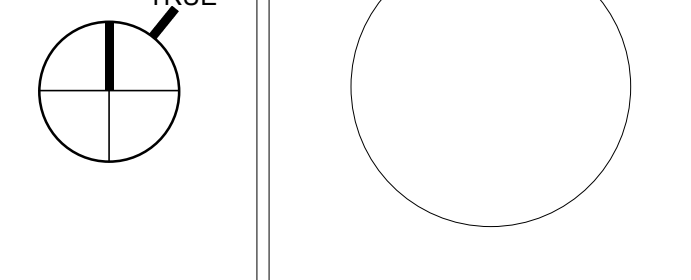
**STATISTICS - LEVEL 3**

FLOOR AREA	13,786 SF
COMMERCIAL	418 SF
RESIDENTIAL	13,368 SF
AMENITY AREA	418 SF
SERVICE AREA	418 SF
<b>AMENITY CALCULATIONS</b>	
BALCONIES	6
TERRACES	2
COURTYARD	8
PLAZA	1
<b>UNIT TOTALS</b>	
1 BEDROOM	6
2 BED + DEN	2
2 BED + DEN	2
3 BEDROOM	1
3 BEDROOM + DEN	1
TOTAL	17



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7 ISSUED FOR SPA 18 AUG 2023

4 RE-ISSUED FOR DEVELOPMENT PERMIT 17 MAY 2023

2 RE-ISSUED FOR UNIT LAYOUT REVIEW 20 APR 2023

1 ISSUED FOR UNIT LAYOUT REVIEW 2 APR 2023

0 ISSUED FOR DEVELOPMENT PERMIT 15 DEC 2022

ID	REVISION	DATE
----	----------	------

PROJECT

**MOFFATT'S DEVELOPMENT - PHASE 2**

PORTLAND / CANAL STREET, DARTMOUTH NS

DRAWING TITLE

**FLOOR PLAN - LEVEL 3**

SCALE: 1/8" = 1'-0"

DRAWN BY: LMP

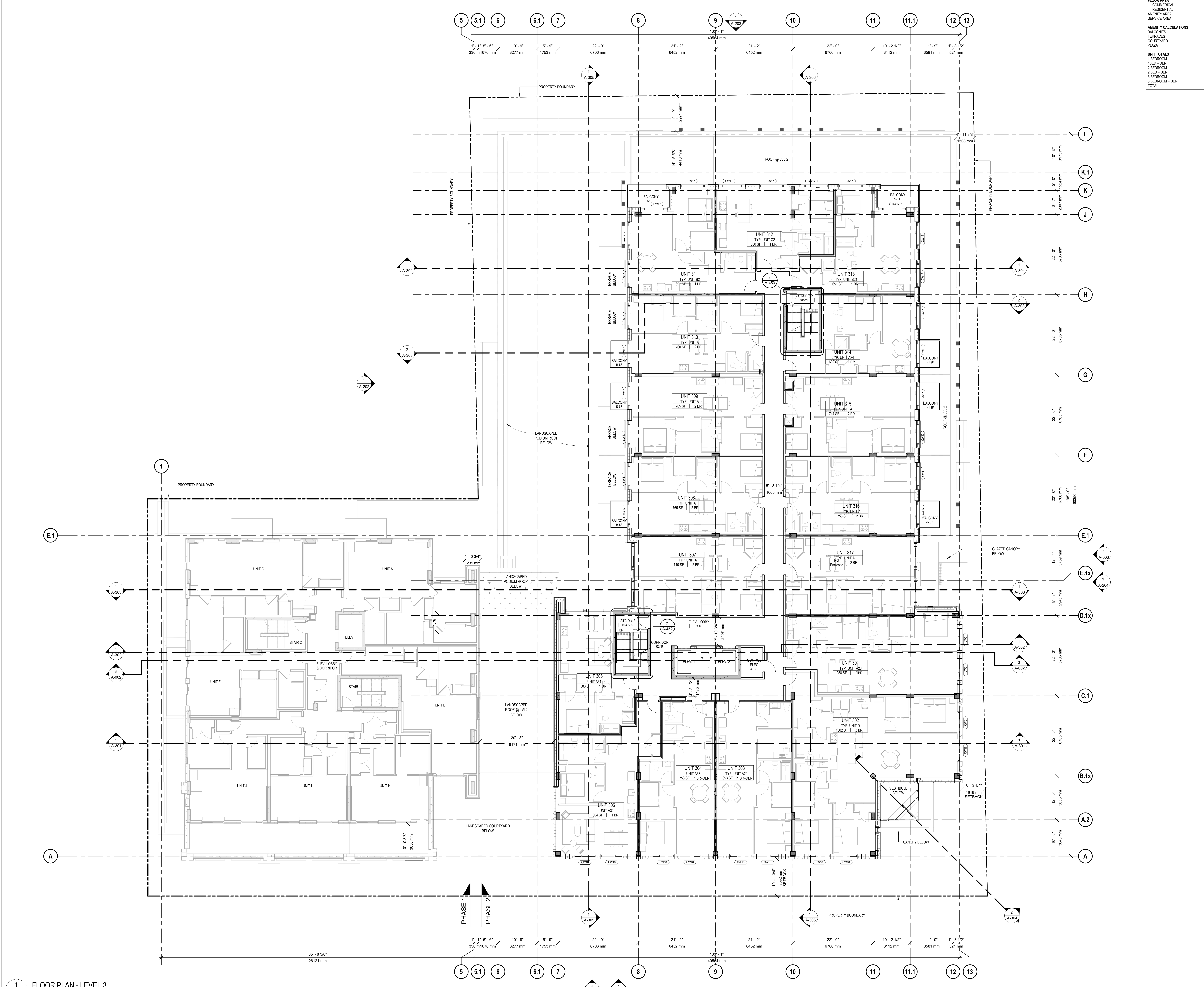
PROJECT #: 20-026

CHECKED BY: JZ

ISSUED DATE: 2023-07-21

DRAWING NUMBER

**A-107**



**1 FLOOR PLAN - LEVEL 3**  
SCALE: 1/8" = 1'-0"



STATISTICS - LEVEL 4	
FLOOR AREA	12,491 SF
COMMERCIAL	-
RESIDENTIAL	41 SF
AMENITY AREA	-
SERVICE AREA	-
AMENITY CALCULATIONS	
BALCONIES	1,754 SF
TERRACES	459 SF
COURTYARD	1,309 SF
PLAZA	-
UNIT TOTALS	
1 BEDROOM	5
1 BED - DEN	2
2 BEDROOM	6
2 BED - DEN	1
3 BEDROOM	1
3 BEDROOM - DEN	1
TOTAL	16

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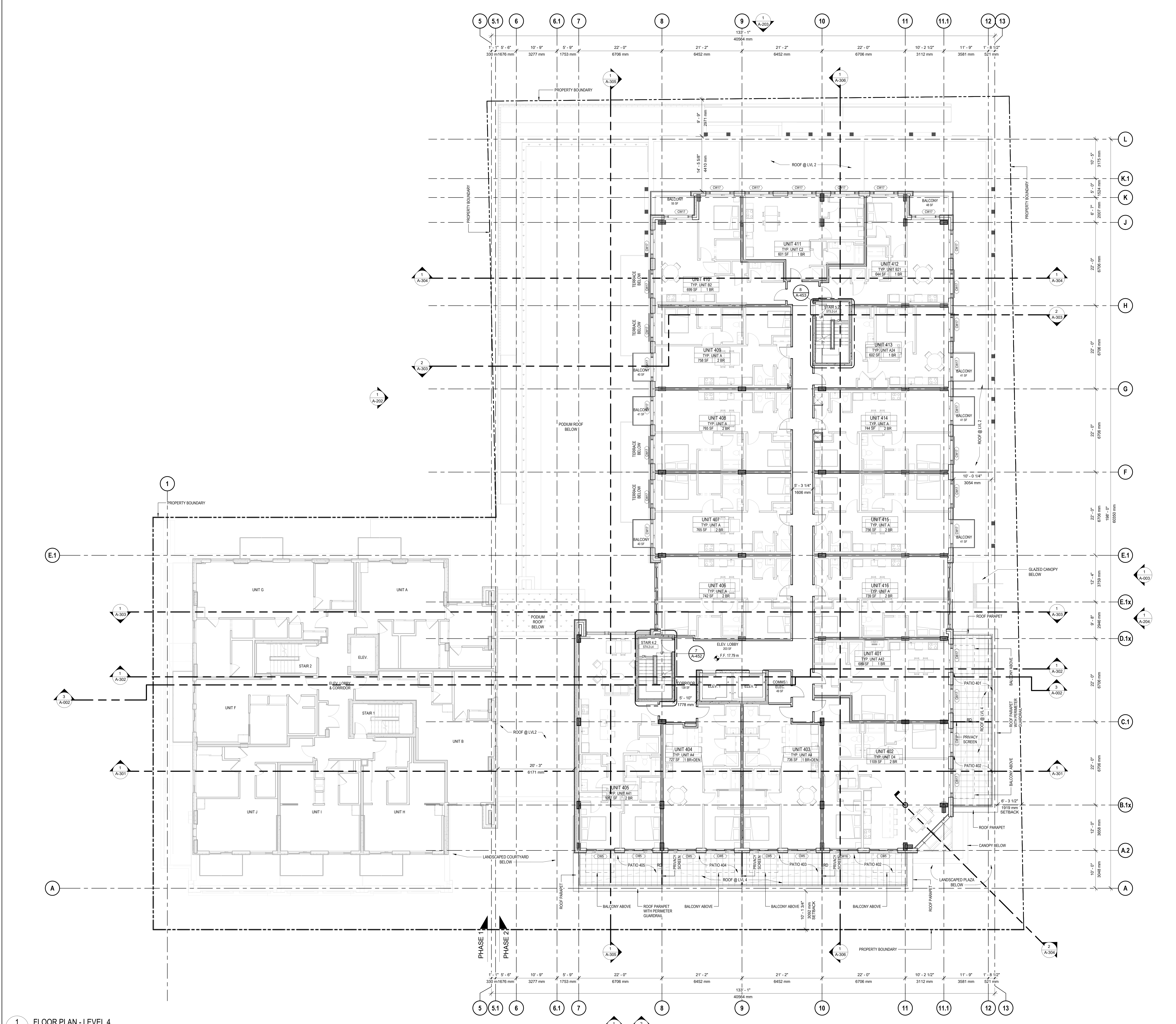
NO.	REVISION	DATE
7	ISSUED FOR SPA	18 AUG 2023
4	RE-ISSUED FOR DEVELOPMENT PERMIT	17 MAY 2023
2	RE-ISSUED FOR UNIT LAYOUT REVIEW	20 APR 2023
1	ISSUED FOR UNIT LAYOUT REVIEW	2 APR 2023
0	ISSUED FOR DEVELOPMENT PERMIT	15 DEC 2022
ID	REVISION	DATE

PROJECT  
**MOFFATT'S DEVELOPMENT - PHASE 2**  
 PORTLAND / CANAL STREET, DARTMOUTH NS

DRAWING TITLE  
**FLOOR PLAN - LEVEL 4**

SCALE: 1/8" = 1'-0"  
 DRAWN BY: LMP  
 PROJECT #: 20-026  
 CHECKED BY: JZ  
 ISSUED DATE: 2023-07-21

DRAWING NUMBER  
**A-108**



**1 FLOOR PLAN - LEVEL 4**  
 SCALE: 1/8" = 1'-0"

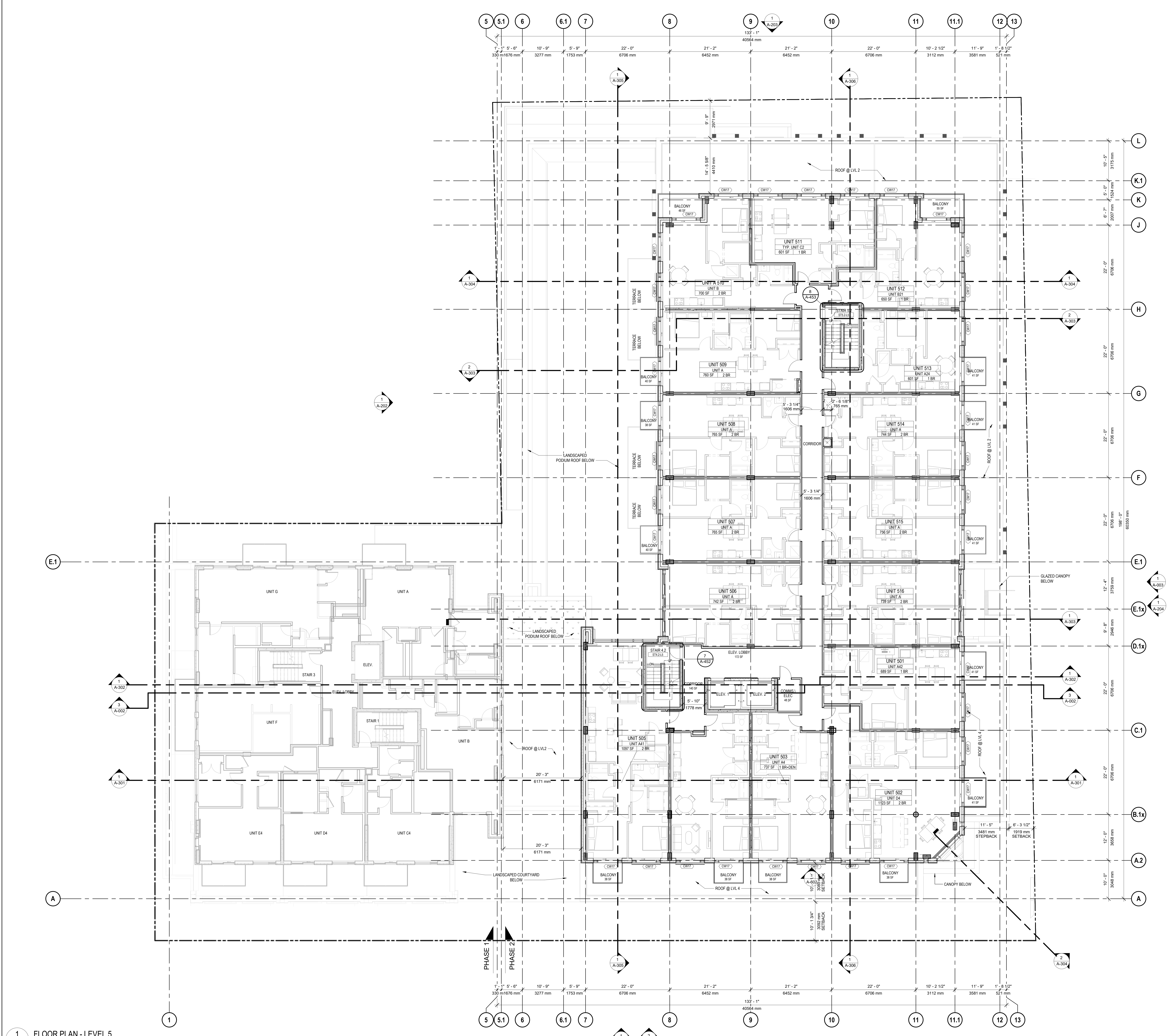


STATISTICS - LEVELS 5	
FLOOR AREA	12,070 SF
COMMERCIAL	41 SF
RESIDENTIAL	
AMENITY AREA	
SERVICE AREA	
AMENITY CALCULATIONS	
BALCONIES	721 SF
COURTYARD	
PLAZA	
UNIT TOTALS	
1 BEDROOM	5(x) = 15
1 BED + DEN	2(x) = 6
2 BEDROOM	9(x) = 27
3 BEDROOM	3(x) = 9
3 BEDROOM + DEN	
TOTAL	15 (x) = 48

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 2. THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH LANDSCAPE DESIGN DRAWINGS.

NO.	REVISION	DATE
7	ISSUED FOR SPA	18 AUG 2023
4	RE-ISSUED FOR DEVELOPMENT PERMIT	17 MAY 2023
2	RE-ISSUED FOR UNIT LAYOUT REVIEW	20 APR 2023
1	ISSUED FOR UNIT LAYOUT REVIEW	6 APR 2023
0	ISSUED FOR DEVELOPMENT PERMIT	15 DEC 2022
ID	REVISION	DATE

PROJECT  
**MOFFATT'S DEVELOPMENT - PHASE 2**  
 PORTLAND / CANAL STREET, DARTMOUTH NS

DRAWING TITLE  
**FLOOR PLAN - LEVEL 5**

SCALE: 1/8" = 1'-0"	DRAWN BY: LMP
PROJECT #: 20-026	CHECKED BY: JZ
ISSUED DATE: 2023-07-21	
DRAWING NUMBER	

**A-109**

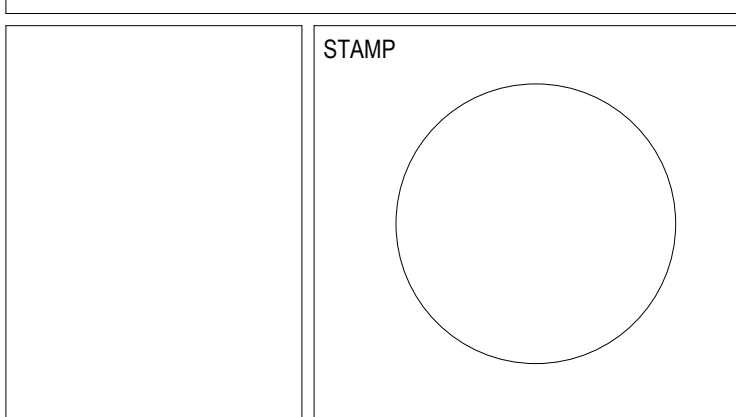


STATISTICS - LEVELS 6	
FLOOR AREA	12,070 sq'
COMMERCIAL	41 sq'
RESIDENTIAL	
AMENITY AREA	
SERVICE AREA	
AMENITY CALCULATIONS	721 sq'
SALONES	
TERRACES	
COURTYARD	
PLAZA	
UNIT TOTALS	
1 BEDROOM	5(x)3 = 15
1 BED + DEN	2(x)3 = 6
2 BEDROOM	9(x)3 = 27
2 BED + DEN	
3 BEDROOM	
3 BEDROOM + DEN	
TOTAL	15 (x)3 = 48



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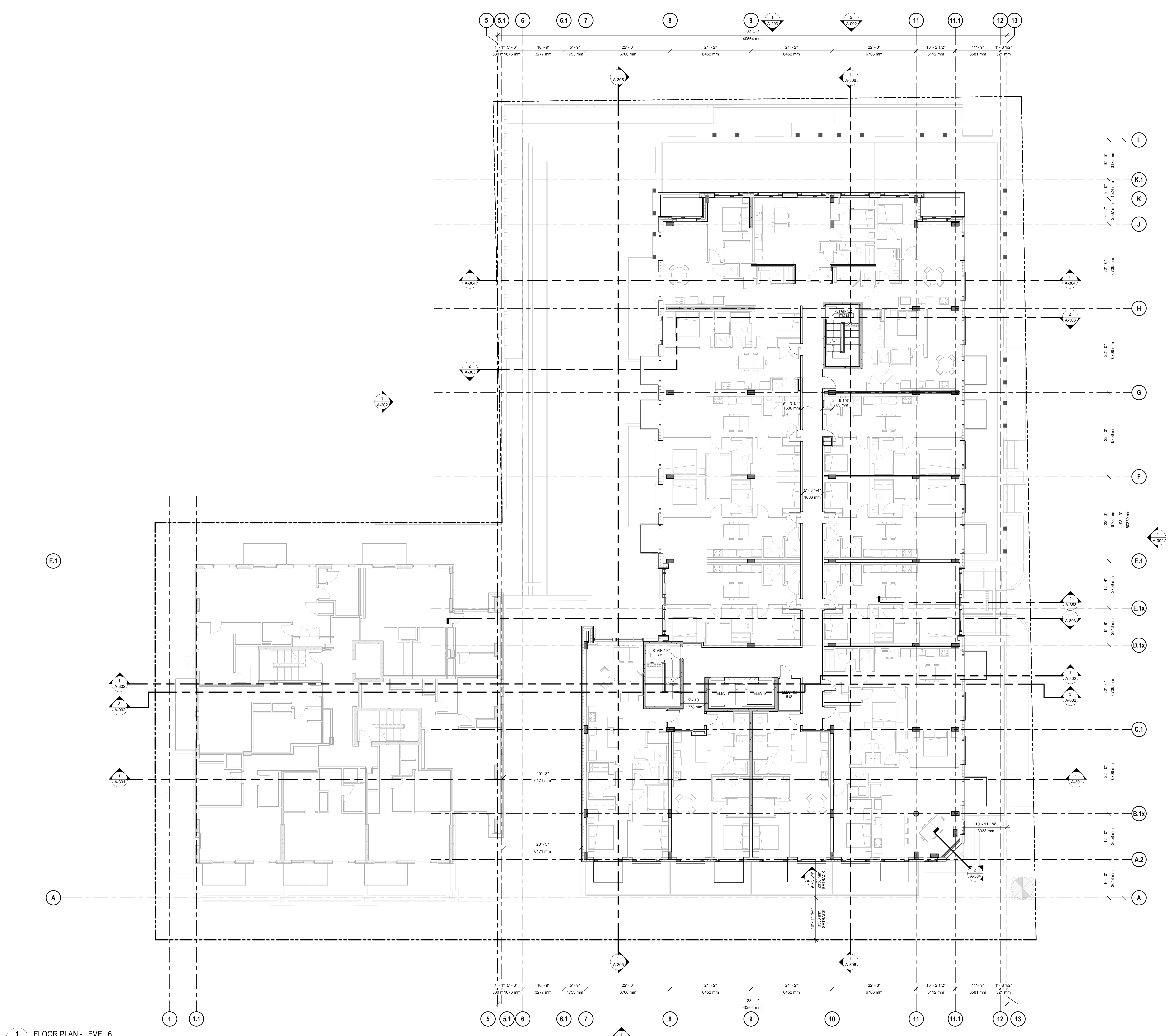
ID	ISSUED FOR SPA	18 AUG 2023
REVISION	DATE	

PROJECT  
**MOFFATT'S DEVELOPMENT - PHASE 2**  
 PORTLAND / CANAL STREET, DARTMOUTH NS

DRAWING TITLE  
**FLOOR PLAN - LEVEL 6**

SCALE: 1/8" = 1'-0"	DRAWN BY: Author
PROJECT #: 20-026	CHECKED BY: Checker
ISSUED DATE: 2023-07-21	

DRAWING NUMBER  
**A-110**



**1 FLOOR PLAN - LEVEL 6**  
 SCALE: 1/8" = 1'-0"



**STATISTICS - LEVELS 7**

FLOOR AREA	12,070 SF
COMMERCIAL	41 SF
RESIDENTIAL	721 SF
AMENITY AREA	
SERVICE AREA	
AMENITY CALCULATIONS	
SALONES	
TERRACES	
COURTYARD	
PLAZA	
UNIT TOTALS	
1 BEDROOM	5(x) = 15
1 BED + DEN	2(x) = 4
2 BEDROOM	9(x) = 27
3 BEDROOM	1(x) = 1
3 BEDROOM + DEN	15(x) = 45
TOTAL	15 (x) = 45

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ISSUED FOR SPA

18 AUG 2023

REVISION

DATE

PROJECT

**MOFFATT'S DEVELOPMENT - PHASE 2**

PORTLAND / CANAL STREET, DARTMOUTH NS

DRAWING TITLE

**FLOOR PLAN - LEVEL 7**

SCALE: 1/8" = 1'-0"

DRAWN BY: Author

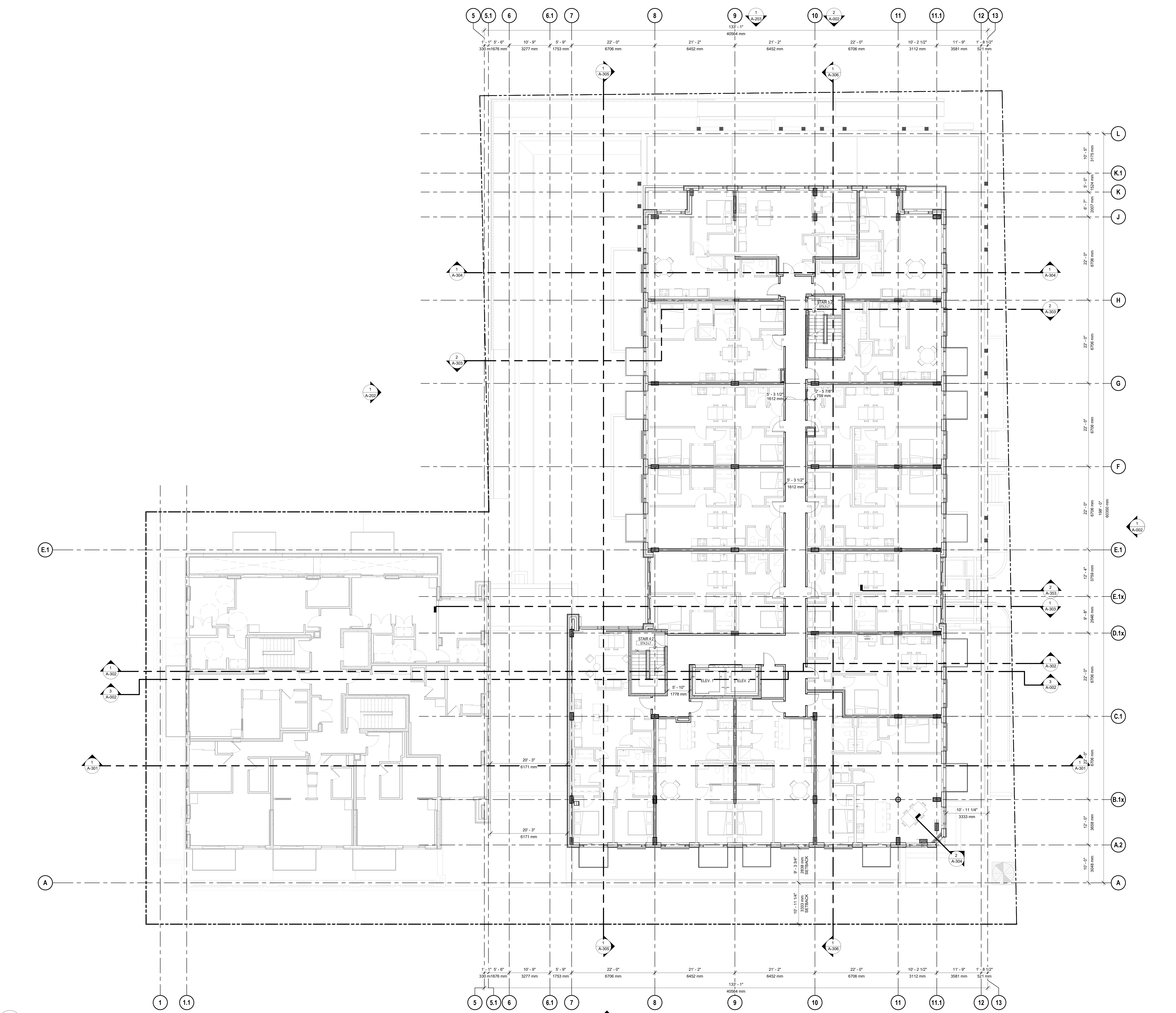
PROJECT #: 20-026

CHECKED BY: Checker

ISSUED DATE: 2023-07-21

DRAWING NUMBER

**A-111**



**1 FLOOR PLAN - LEVEL 7**  
A-111 SCALE: 1/8" = 1'-0"

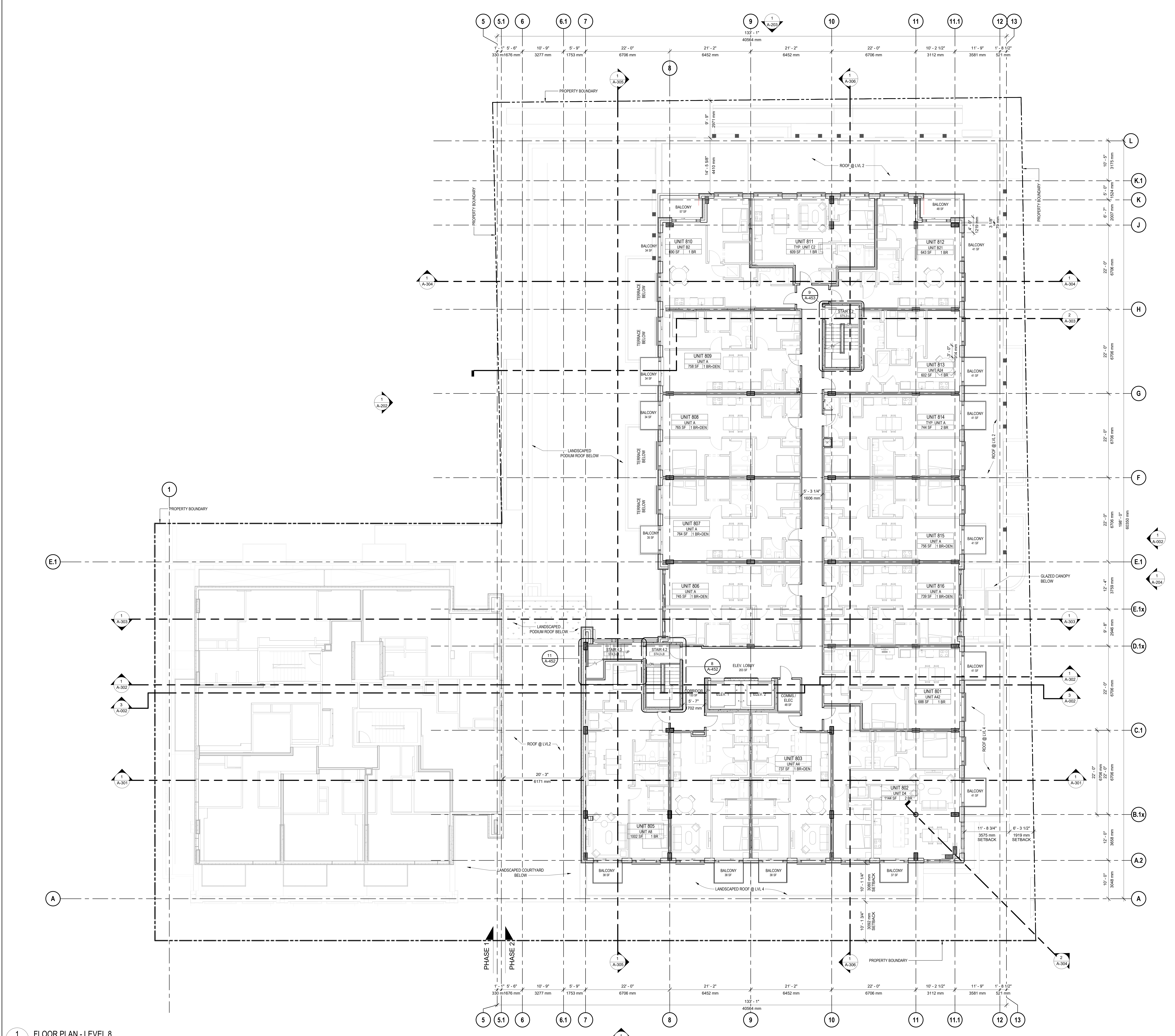


STATISTICS - LEVEL 8	
FLOOR AREA	11,709 SF
COMMERCIAL	41 SF
RESIDENTIAL	11,668 SF
AMENITY AREA	
SERVICE AREA	
AMENITY CALCULATIONS	
BALCONIES	721 SF
TERRACES	
COURTYARD	
PLAZA	
UNIT TOTALS	
1 BEDROOM	5
1 BED - DEN	2
2 BEDROOM	9
2 BED - DEN	1
3 BEDROOM	1
3 BEDROOM - DEN	1
TOTAL	16

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NO.	REVISION	DATE
7	ISSUED FOR SPA	18 AUG 2023
4	RE-ISSUED FOR DEVELOPMENT PERMIT	17 MAY 2023
2	RE-ISSUED FOR UNIT LAYOUT REVIEW	20 APR 2023
1	ISSUED FOR UNIT LAYOUT REVIEW	2 APR 2023
0	ISSUED FOR DEVELOPMENT PERMIT	15 DEC 2022

PROJECT  
**MOFFATT'S DEVELOPMENT - PHASE 2**  
 PORTLAND / CANAL STREET, DARTMOUTH NS

DRAWING TITLE  
**FLOOR PLAN - LEVEL 8**

SCALE: 1/8" = 1'-0" DRAWN BY: LMP  
 PROJECT #: 20-026 CHECKED BY: JZ  
 ISSUED DATE: 2023-07-21

DRAWING NUMBER  
**A-112**

**1 FLOOR PLAN - LEVEL 8**  
 SCALE: 1/8" = 1'-0"

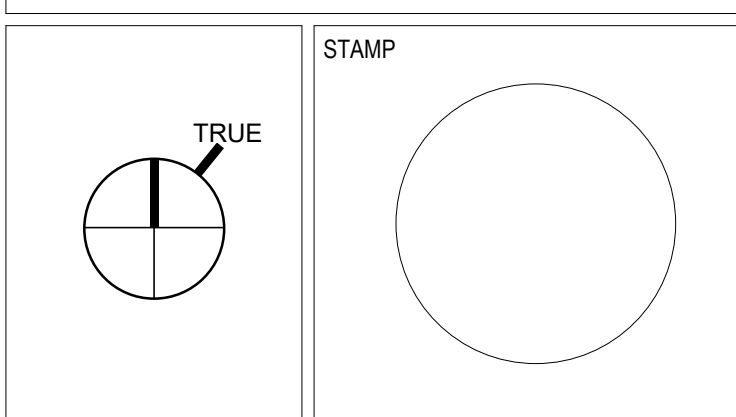


STATISTICS - LEVEL PENTHOUSE	
FLOOR AREA	33,000 SF
COMMERCIAL	33,000 SF
RESIDENTIAL	0 SF
AMENITY AREA	33,000 SF
SERVICE AREA	0 SF
AMENITY CALCULATIONS	
BALCONIES	3,440 SF
TERRACES	0 SF
COURTYARD	0 SF
PLAZA	0 SF
UNIT TOTALS	
1 BEDROOM	0
2 BED + DEN	0
3 BEDROOM	0
3 BEDROOM + DEN	0
TOTAL	0



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PROJECT

MOFFATT'S DEVELOPMENT - PHASE 2  
PORTLAND / CANAL STREET, DARTMOUTH NS

DRAWING TITLE

FLOOR PLAN - PENTHOUSE

SCALE: 1/8" = 1'-0"

DRAWN BY: LMP

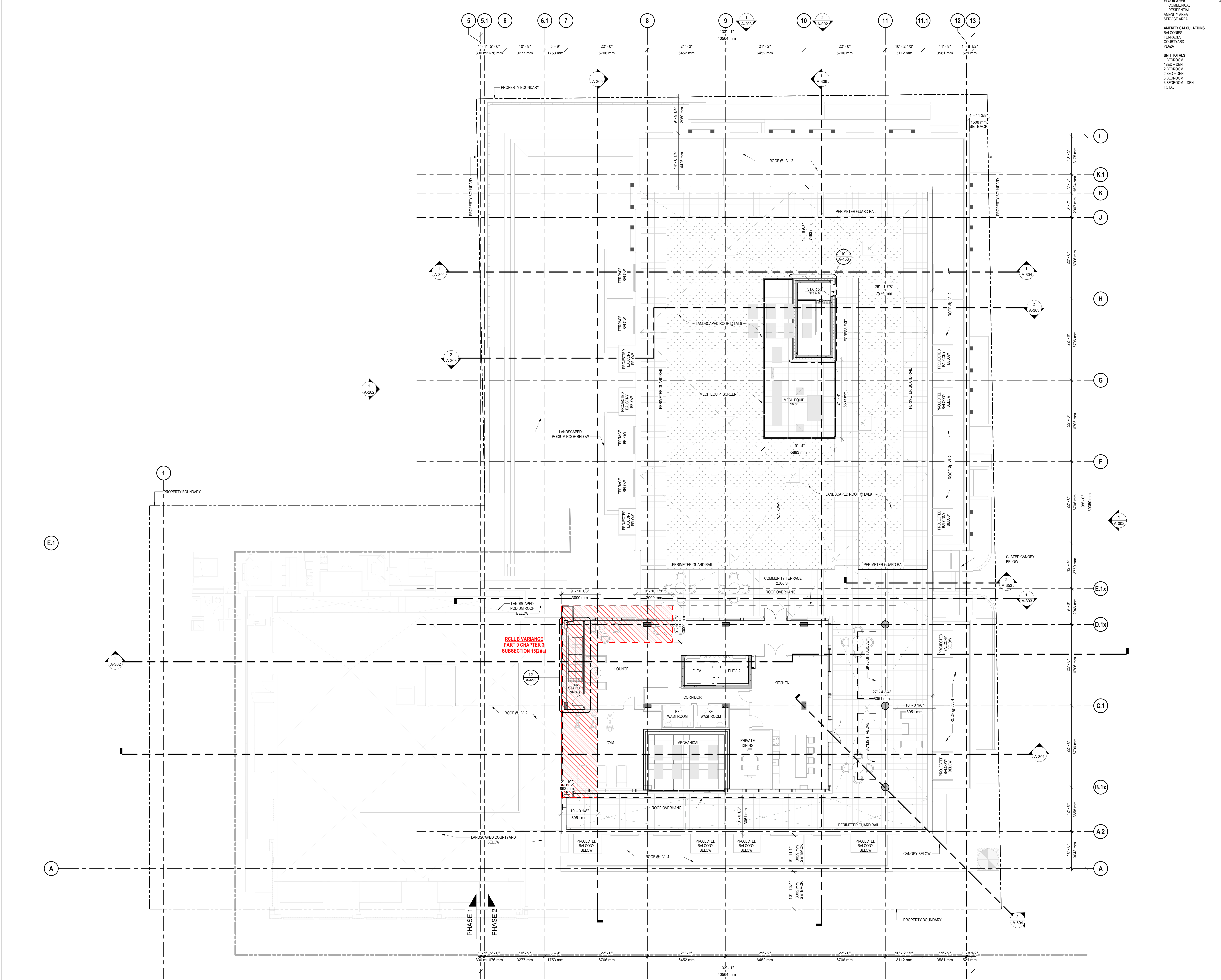
PROJECT #: 20-026

CHECKED BY: JZ

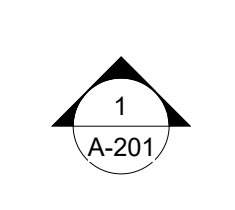
ISSUED DATE: 2023-07-21

DRAWING NUMBER

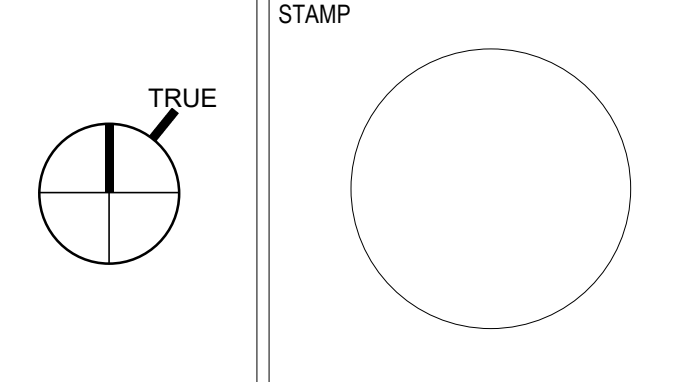
A-113



1 FLOORPLAN - LEVEL 9 - AMENITY  
SCALE: 1/8" = 1'-0"







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NOTES:  
1. SEE DRAWING A-003 FOR CONSTRUCTION ASSEMBLIES.  
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PROJECT  
**MOFFATT'S DEVELOPMENT - PHASE 2**  
PORTLAND / CANAL STREET, DARTMOUTH NS

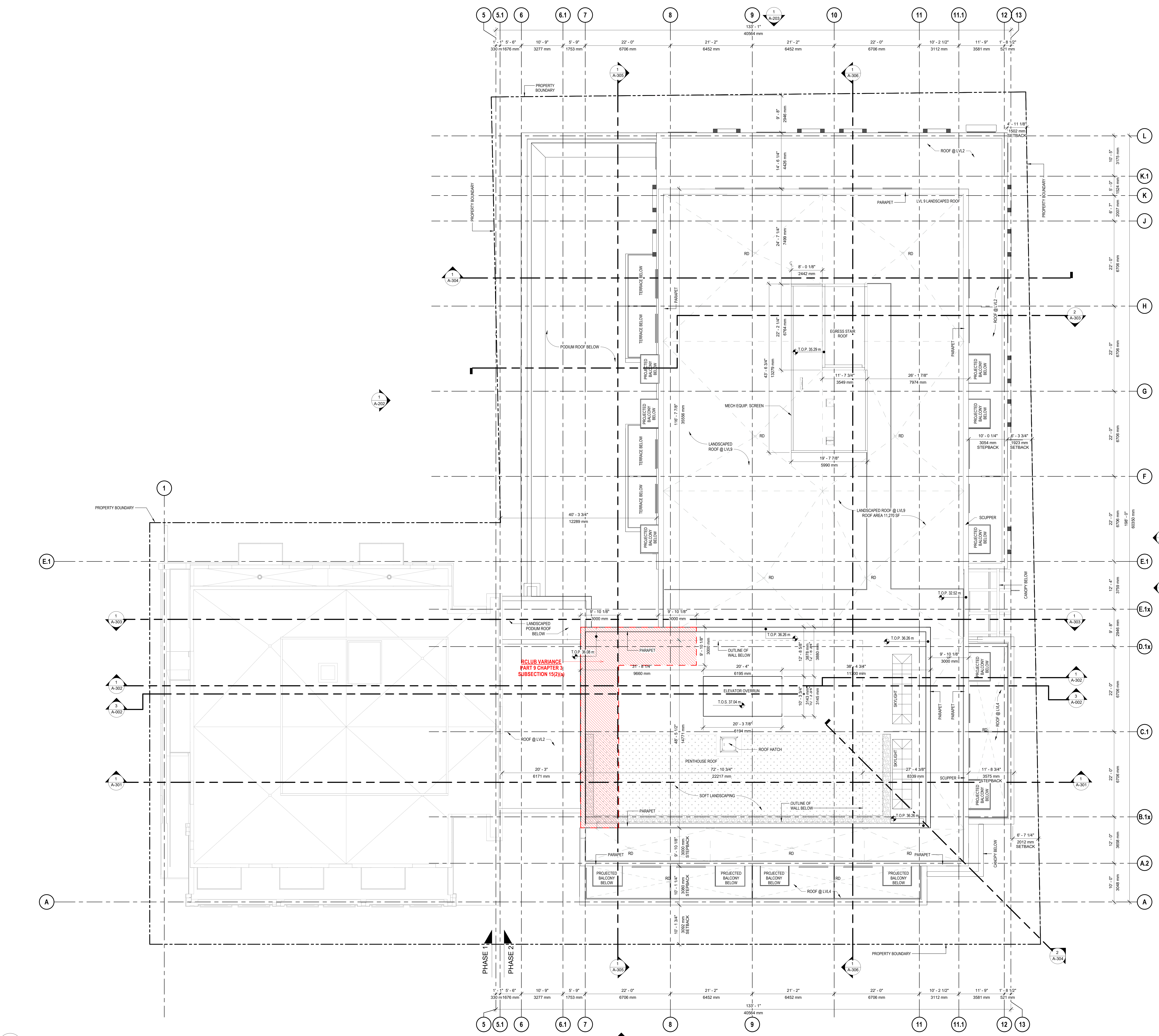
DRAWING TITLE  
**OVERALL ROOF PLAN**

SCALE: 1/8" = 1'-0"  
PROJECT #: 20-026  
ISSUED DATE: 2023-07-21

DRAWN BY: LMP  
CHECKED BY: JZ

DRAWING NUMBER  
**A-114**

ID	REVISION	DATE
7	ISSUED FOR SPA	18 AUG 2023
6	RE-ISSUED FOR DEVELOPMENT PERMIT	10 JUL 2023
5	RE-ISSUED FOR DEVELOPMENT PERMIT	09 JUN 2023
4	RE-ISSUED FOR DEVELOPMENT PERMIT	17 MAY 2023
3	RE-ISSUED FOR DEVELOPMENT PERMIT	20 APR 2023
1	ISSUED FOR UNIT LAYOUT REVIEW	2 APR 2023
0	ISSUED FOR DEVELOPMENT PERMIT	15 DEC 2022

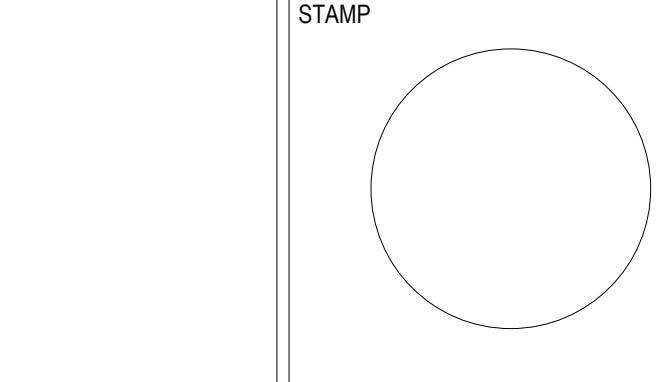


**1 FLOOR PLAN - OVERALL ROOF**  
SCALE: 1/8" = 1'-0"



**MATERIAL LEGEND**

- HIGH TRANSPARENCY STOREFRONT GLAZING
- BRICK VENEER (STACKED BOND)
- BRICK VENEER (RUNNING BOND)
- ENGINEERED METAL CLADDING TYPE 1
- BRICK VENEER (RUNNING BOND)
- ENGINEERED METAL CLADDING TYPE 2
- PREFINISHED ALUMINUM FRAME GUARD
- ALUMINUM CURTAIN WALL
- PREFINISHED ALUMINUM FRAMED GLASS Juliet BALCONY GUARDRAIL
- SPANDREL PANEL
- PHENOLIC PANEL
- PICKET RAILING
- PRIVACY SCREEN



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**1 NORTH ELEVATION**  
A-201 SCALE: 1/8" = 1'-0"

NO.	REVISION	DATE
7	ISSUED FOR SPA	18 AUG 2023
6	RE-ISSUED FOR DEVELOPMENT PERMIT	07 JUL 2023
5	RE-ISSUED FOR DEVELOPMENT PERMIT	09 JUN 2023
4	RE-ISSUED FOR DEVELOPMENT PERMIT	17 MAY 2023
3	RE-ISSUED FOR DEVELOPMENT PERMIT	20 APR 2023
0	ISSUED FOR DEVELOPMENT PERMIT	15 DEC 2022

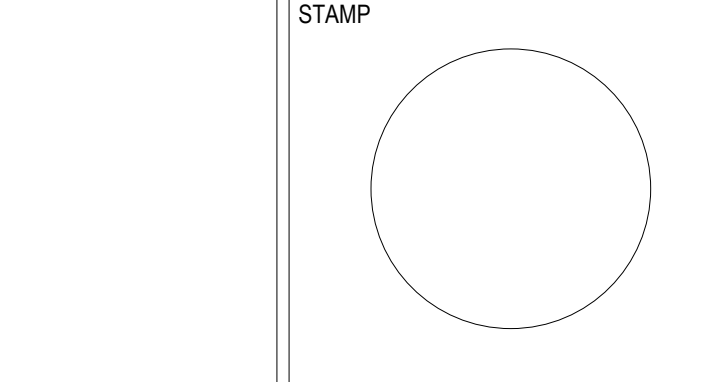
PROJECT  
**MOFFATT'S DEVELOPMENT - PHASE 2**  
PORTLAND / CANAL STREET, DARTMOUTH NS

DRAWING TITLE  
**BUILDING ELEVATION - NORTH**

SCALE: 1/8" = 1'-0" DRAWN BY: JDL, LMP  
PROJECT #: 20-026 CHECKED BY: JZ  
ISSUED DATE: 2023-07-21

DRAWING NUMBER  
**A-201**





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**MATERIAL LEGEND**

- HIGH TRANSPARENCY STOREFRONT GLAZING
- BRICK VENEER (STACKED BOND)
- BRICK VENEER (RUNNING BOND)
- ENGINEERED METAL CLADDING TYPE 1
- BRICK VENEER (RUNNING BOND)
- ENGINEERED METAL CLADDING TYPE 2
- PREFINISHED ALUMINUM FRAME GUARD
- ALUMINUM CURTAIN WALL
- PREFINISHED ALUMINUM FRAMED GLASS Juliet BALCONY GUARDRAIL
- SPANDREL PANEL
- PHENOLIC PANEL
- PICKET RAILING
- PRIVACY SCREEN



**1 EAST ELEVATION**  
SCALE: 1/8" = 1'-0"

7	ISSUED FOR SPA	18 AUG 2023
6	RE-ISSUED FOR DEVELOPMENT PERMIT	07 JUL 2023
5	RE-ISSUED FOR DEVELOPMENT PERMIT	09 JUN 2023
4	RE-ISSUED FOR DEVELOPMENT PERMIT	17 MAR 2023
3	RE-ISSUED FOR DEVELOPMENT PERMIT	30 APR 2023
0	ISSUED FOR DEVELOPMENT PERMIT	15 DEC 2022
ID	REVISION	DATE

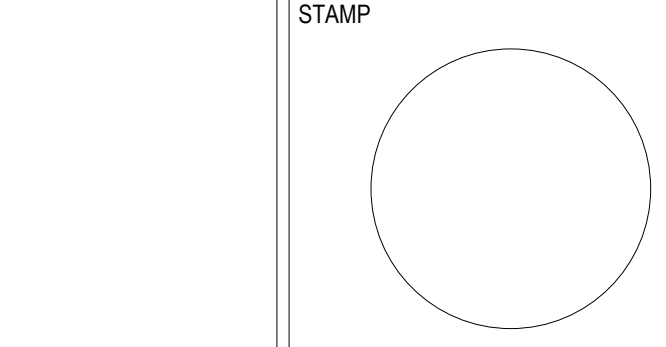
PROJECT  
**MOFFATT'S DEVELOPMENT - PHASE 2**  
PORTLAND / CANAL STREET, DARTMOUTH NS

DRAWING TITLE  
**BUILDING ELEVATION - EAST**

SCALE: 1/8" = 1'-0" DRAWN BY: LMP  
PROJECT #: 20-026 CHECKED BY: JZ  
ISSUED DATE: 2023-07-21

DRAWING NUMBER  
**A-202**





CLIENT

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**MATERIAL LEGEND**

- HIGH TRANSPARENCY STOREFRONT GLAZING
- BRICK VENEER (STACKED BOND)
- BRICK VENEER (RUNNING BOND)
- ENGINEERED METAL CLADDING TYPE 1
- BRICK VENEER (RUNNING BOND)
- ENGINEERED METAL CLADDING TYPE 2
- PREFINISHED ALUMINUM FRAME GUARD
- ALUMINUM CURTAIN WALL
- PREFINISHED ALUMINUM FRAMED GLASS Juliet BALCONY GUARDRAIL
- SPANDREL PANEL
- PHENOLIC PANEL
- PICKET RAILING
- PRIVACY SCREEN



7	ISSUED FOR SPA	18 AUG 2023
6	RE-ISSUED FOR DEVELOPMENT PERMIT	07 JUL 2023
5	RE-ISSUED FOR DEVELOPMENT PERMIT	09 JUN 2023
4	RE-ISSUED FOR DEVELOPMENT PERMIT	17 MAR 2023
3	RE-ISSUED FOR DEVELOPMENT PERMIT	30 APR 2023
0	ISSUED FOR DEVELOPMENT PERMIT	15 DEC 2022
ID	REVISION	DATE

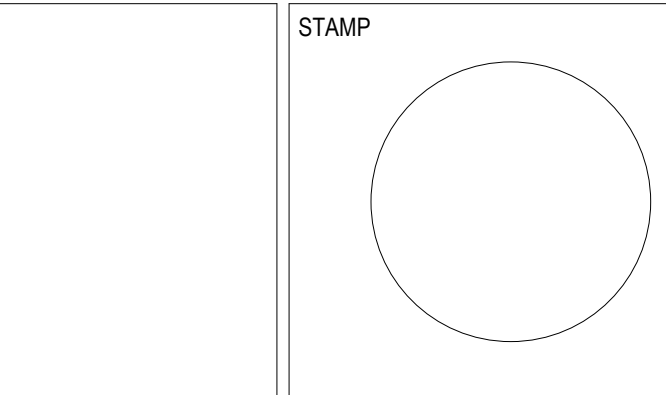
PROJECT  
**MOFFATT'S DEVELOPMENT - PHASE 2**  
PORTLAND / CANAL STREET, DARTMOUTH NS

DRAWING TITLE  
**BUILDING ELEVATION - SOUTH**

SCALE: 1/8" = 1'-0" DRAWN BY: LMP  
PROJECT #: 20-026 CHECKED BY: JZ  
ISSUED DATE: 2023-07-21

DRAWING NUMBER  
**A-203**





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**MATERIAL LEGEND**

- HIGH TRANSPARENCY STOREFRONT GLAZING
- BRICK VENEER (STACKED BOND)
- BRICK VENEER (RUNNING BOND)
- ENGINEERED METAL CLADDING TYPE 1
- BRICK VENEER (RUNNING BOND)
- ENGINEERED METAL CLADDING TYPE 2
- PREFINISHED ALUMINUM FRAME GUARD
- ALUMINUM CURTAIN WALL
- PREFINISHED ALUMINUM FRAMED GLASS Juliet BALCONY GUARDRAIL
- SPANDREL PANEL
- PHENOLIC PANEL
- PICKET RAILING
- PRIVACY SCREEN



**1 WEST ELEVATION**  
A-204 SCALE: 1/8" = 1'-0"

ID	REVISION	DATE
7	ISSUED FOR SPA	18 AUG 2023
6	RE-ISSUED FOR DEVELOPMENT PERMIT	07 JUL 2023
5	RE-ISSUED FOR DEVELOPMENT PERMIT	09 JUN 2023
4	RE-ISSUED FOR DEVELOPMENT PERMIT	17 MAY 2023
3	RE-ISSUED FOR DEVELOPMENT PERMIT	30 APR 2023
0	ISSUED FOR DEVELOPMENT PERMIT	15 DEC 2022

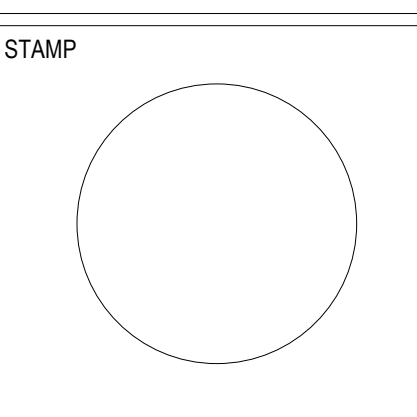
PROJECT  
**MOFFATT'S DEVELOPMENT - PHASE 2**  
PORTLAND / CANAL STREET, DARTMOUTH NS

DRAWING TITLE  
**BUILDING ELEVATION - WEST**

SCALE: 1/8" = 1'-0" DRAWN BY: JDL, LMP  
PROJECT #: 20-026 CHECKED BY: JZ  
ISSUED DATE: 2023-07-21

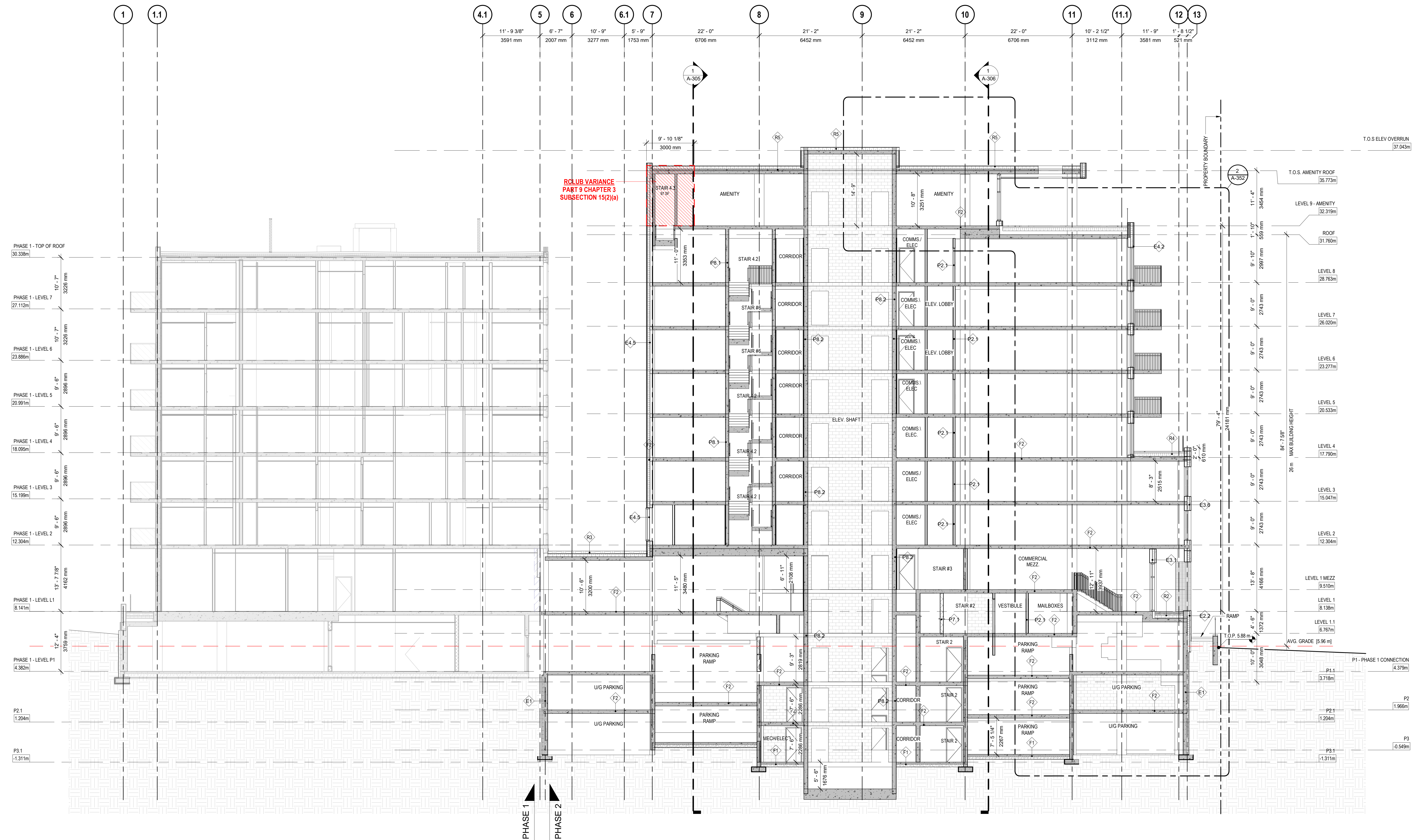
DRAWING NUMBER





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**1 BUILDING SECTION**  
A-302 SCALE: 1/8" = 1'-0"

ID	REVISION	DATE
7	ISSUED FOR SPA	18 AUG 2023
4	RE-ISSUED FOR DEVELOPMENT PERMIT	17 MAY 2023
3	RE-ISSUED FOR DEVELOPMENT PERMIT	20 APR 2023

PROJECT  
**MOFFATT'S DEVELOPMENT - PHASE 2**  
PORTLAND / CANAL STREET, DARTMOUTH NS

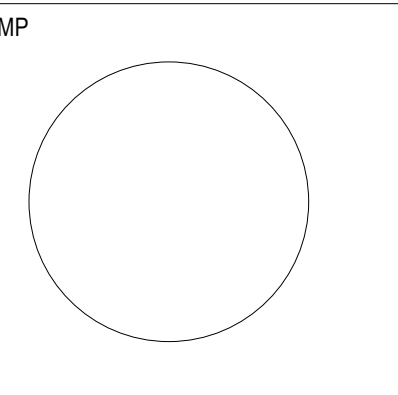
DRAWING TITLE  
**BUILDING CROSS SECTION**

SCALE: 1/8" = 1'-0"	DRAWN BY: LNH
PROJECT #: 20-026	CHECKED BY: JZ
ISSUED DATE: 2023-07-21	

DRAWING NUMBER

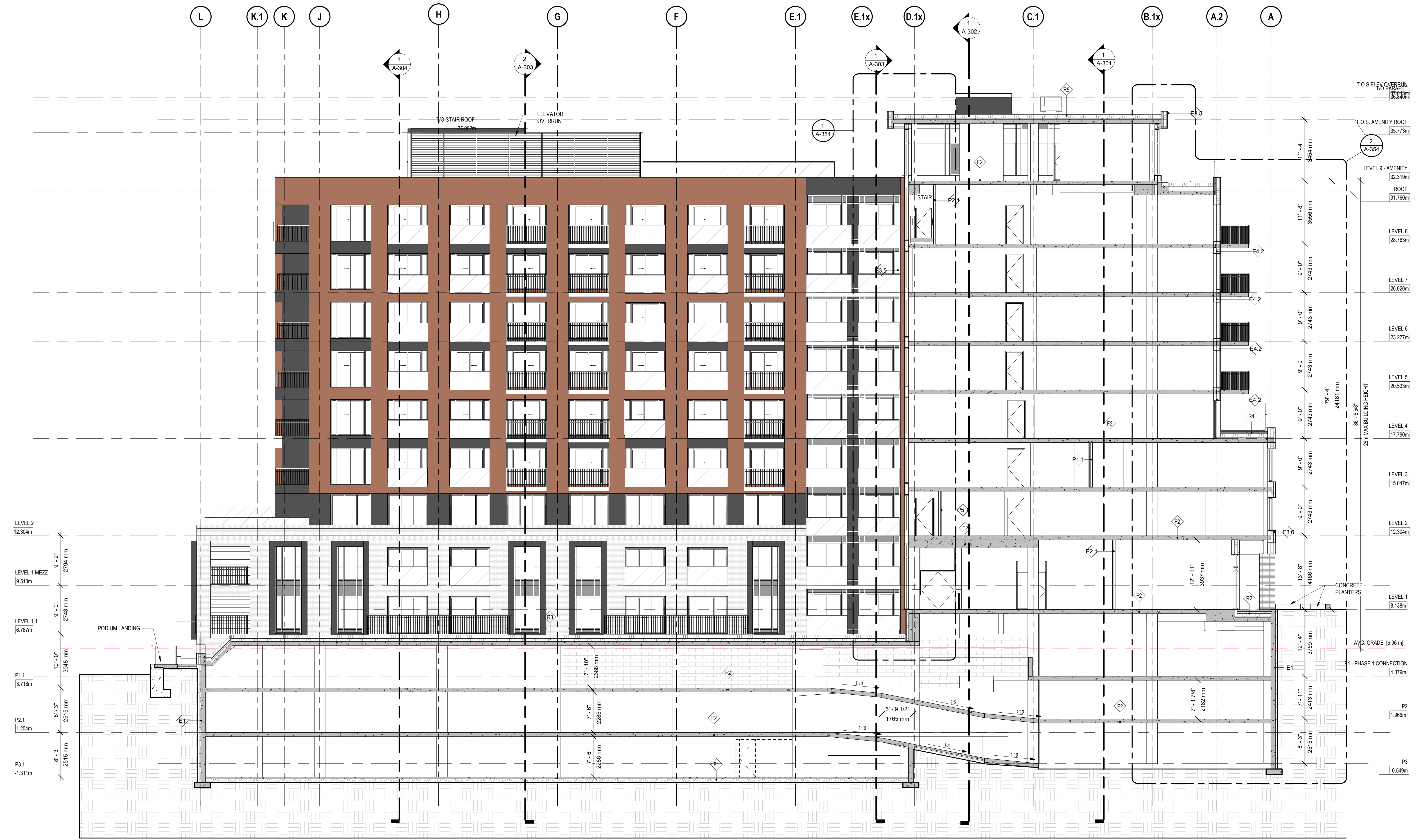
**A-302**





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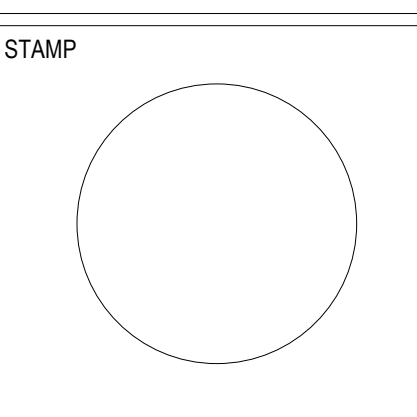


**1** NORTH-SOUTH CROSS SECTION  
A-305 SCALE: 1/8" = 1'-0"

7	ISSUED FOR SPA	18 AUG 2023
ID	REVISION	DATE
PROJECT		
MOFFATT'S DEVELOPMENT - PHASE 2		
PORTLAND / CANAL STREET, DARTMOUTH NS		
DRAWING TITLE		
BUILDING CROSS SECTION		
SCALE:	1/8" = 1'-0"	DRAWN BY: LMP
PROJECT #:	20-026	CHECKED BY: JZ
ISSUED DATE:	2023-07-21	
DRAWING NUMBER		
<b>A-305</b>		

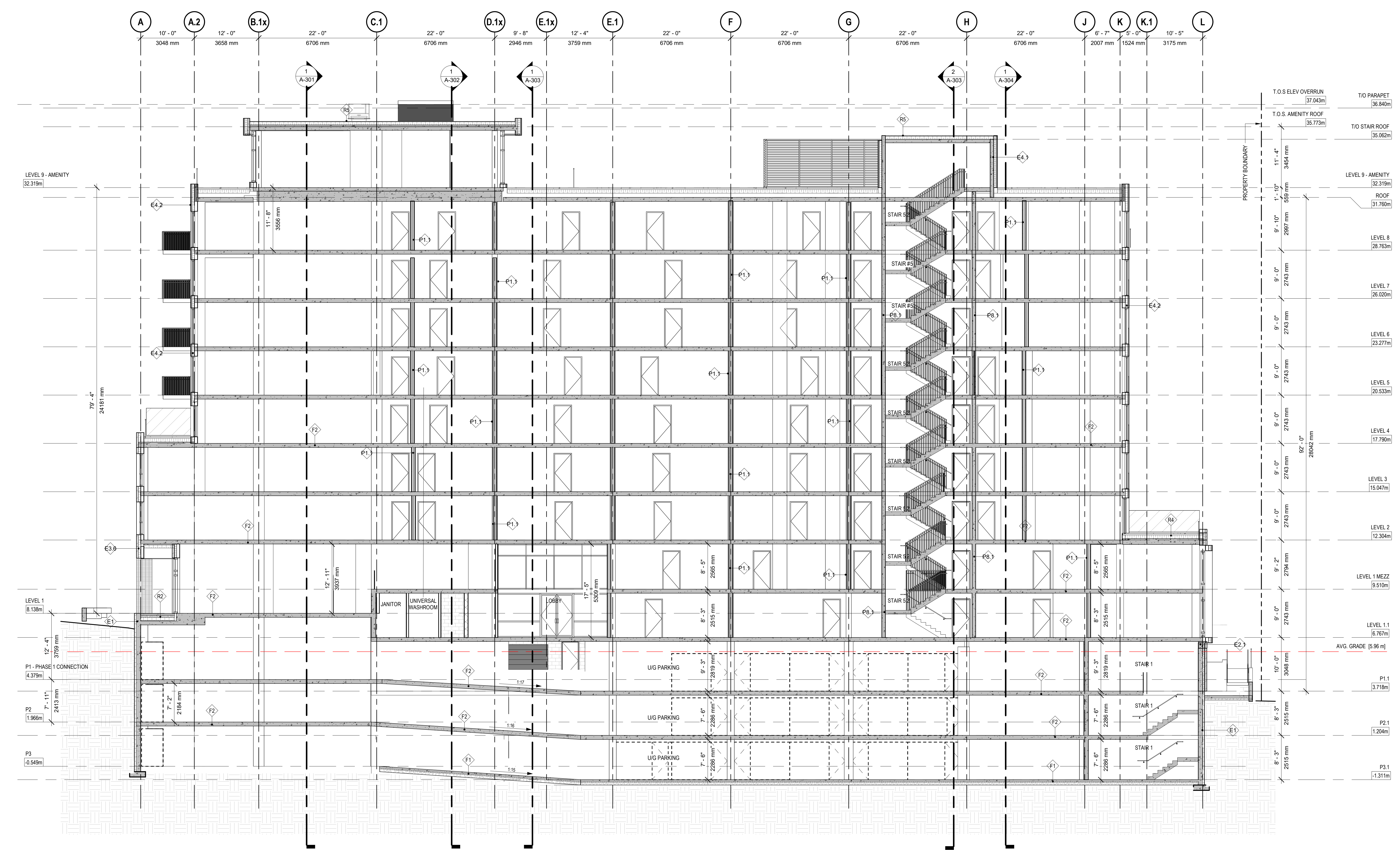


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**1 BUILDING SECTION**  
A-306 SCALE: 1/8" = 1'-0"

7	ISSUED FOR SPA	18 AUG 2023
4	RE-ISSUED FOR DEVELOPMENT PERMIT	17 MAY 2023
3	RE-ISSUED FOR DEVELOPMENT PERMIT	20 APR 2023
ID	REVISION	DATE

PROJECT  
**MOFFATT'S DEVELOPMENT - PHASE 2**  
PORTLAND / CANAL STREET, DARTMOUTH NS

DRAWING TITLE  
**BUILDING CROSS SECTION**

SCALE:	1/8" = 1'-0"	DRAWN BY:	LNH
PROJECT #:	20-026	CHECKED BY:	JZ
ISSUED DATE:	2023-07-21		

DRAWING NUMBER  
**A-306**